

RE-ROOF KINDERGARTEN CLASSROOM BUILDING

AT CONLEY ELEMENTARY SCHOOL

623 ROSE AVENUE

FOR

TAFT CITY SCHOOL DISTRICT

TAFT, KERN COUNTY, CALIFORNIA

PROJECT DATA

LEGEND

SYMBOLS	ABBREVIATIONS
	GRID LINES
	GATE SYMBOL
	DOOR SYMBOL DOOR NUMBER
	WINDOW SYMBOL WINDOW NUMBER T = TEMPERED WH/OCCURS
	REVISION NUMBER
	WORK POINT CONTROL PT./DATUM PT. ELEVATION
	MATCH LINE (SHAPE PORTION IS THE SIDE SHOWN)
	NORTH ARROW
	BUILDING SECTION SHEET NUMBER
	WALL SECTION SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	ROOM NUMBER / NAME SHEET REFERENCE OF ROOM
	REVISED FINISH GRADE EXISTING GRADE CALLED (E)
	KEYNOTE
	SIGNS SEE SCHEDULE
	KITCHEN EQUIPMENT
	ADA CLEARANCE SEE SCHEDULE

GENERAL NOTES

NOTHING IN THE DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION THAT COULD BE IN VIOLATION OF THE APPLICABLE CODES, ORDINANCES, REGULATIONS, RESTRICTIONS, ETC. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DRAWINGS SHALL CAUSE THE CONTRACTOR TO NOTIFY THE ARCHITECT BEFORE MAKING ANY CHANGES IN THE WORK.

THE DRAWINGS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT/OWNER AND NO PART THEREOF SHALL BE COPIED OR DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THESE DOCUMENTS HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS CONSTITUTES CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

MISPLACEMENT, ADDITION, OR OMISSION OF ANY WORD, LETTER, FIGURE, PUNCTUATION MARK, ETC., SHALL IN NO WAY CHANGE OR ALTER THE TRUE INTENT, SPIRIT, OR MEANING OF THE DRAWINGS. THE CONTRACTOR SHALL STUDY AND COMPARE ALL DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR INCONSISTENCIES TO THE ARCHITECT BEFORE COMMENCING WORK IN THAT AREA.

ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENTLY ADOPTED EDITION OF THE:

PART 1 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), TITLE 24 C.C.R.
 PART 2 2022 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R.
 PART 3 2021 INTERNATIONAL BUILDING CODE, VOLUME 1 & 2 AND 2022 CALIFORNIA AMENDMENTS
 PART 4 2022 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R.
 PART 5 2020 EDITION OF NFPA 70 AND 2022 CALIFORNIA AMENDMENTS
 PART 6 2022 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R.
 PART 7 2021 IAPMO UNIFORM MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS)
 PART 8 2022 CALIFORNIA FIRE CODE (CFC), TITLE 24 C.C.R.
 PART 9 2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS
 PART 10 2022 CALIFORNIA EXISTING BUILDING CODE, TITLE 24 C.C.R.
 PART 11 2021 INTERNATIONAL EXISTING BUILDING CODE AND 2022 CALIFORNIA AMENDMENTS
 PART 12 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN), TITLE 24 C.C.R.

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

SEE CALIFORNIA BUILDING CODE, CHAPTER 35, FOR STATE OF CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS.
 *ALL PARTS OF THE 2022 CALIFORNIA BUILDING CODE BECOME EFFECTIVE JANUARY 1, 2023, EXCEPT THE CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1, CHAPTER 4) WHICH BECAME EFFECTIVE ON MAR. 5, 2022.

IF CONFLICTS BETWEEN VARIOUS ELEMENTS (ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL) OF THE WORK OF THE DRAWINGS ARE DISCOVERED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

THESE PROPOSED PLANS WERE BASED ON PLANS BY OTHERS, FURNISHED BY THE OWNER, INDICATING WORK OF PREVIOUS CONTRACTS. THE EXISTING PLANS WILL BE MADE AVAILABLE FOR THE CONTRACTOR'S REVIEW UPON REQUEST. THE OWNER, THE ARCHITECT AND THE ENGINEERS SHALL ASSUME NO RESPONSIBILITY FOR THE EXISTING CONDITIONS AND MEASUREMENTS INDICATED ON THESE PROPOSED PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING MEASUREMENTS AND CONDITIONS NECESSARY TO PROVIDE COMPLETE WORK AS INDICATED BY THE INTENT OF THESE PLANS PRIOR TO PROCEEDING WITH WORK OF THIS CONTRACT.

EXISTING DIMENSIONS INDICATED ON THESE PROPOSED DRAWINGS HAVE BEEN PROVIDED FROM INFORMATION OBTAINED FROM THE DISTRICT. THE CONTRACTOR SHALL USE WHAT MEANS NECESSARY TO VERIFY THE DIMENSIONS IN THE AREAS OF DESIGNATED WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING WORK IN THE AREA OF QUESTION.

CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDA, OR CHANGE ORDER.

ALL SUBSTITUTIONS OF PRODUCTS OR DESIGNS WHICH AFFECT THE STRUCTURAL SAFETY, FIRE AND LIFE-SAFETY, OR ACCESSIBILITY OF THE WORK MUST BE SUBMITTED TO THE ARCHITECT AS A CCD FOR REVIEW AND APPROVAL.

A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, C.C.R.

THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATIONS, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHERE THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT (CCD TYPE A) OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE REPAIR WORK.

CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH NEW OR EXISTING STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED IN THE DRAWINGS OR ACCEPTED BY THE ARCHITECT AND ENGINEER WITH THE APPROVAL OF DSA REPRESENTATIVE.

NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR.

FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL BE IN COMPLIANCE WITH CFC CH 33.

ENVELOPE AND PROCESS EQUIPMENT ACCEPTANCE TESTS SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR, ENGINEER/ARCHITECT OF RECORD OR THE OWNER'S AGENT.

PROJECT INSPECTORS WILL COLLECT THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

SCOPE OF WORK

BASE BID:

THE SCOPE OF WORK SHALL INCLUDE BUT NOT NECESSARILY LIMITED TO ALL LABOR, MATERIALS & EQUIPMENT AS REQUIRED & NECESSARY FOR THE DEMOLITION OF ALL EXISTING BUILT UP ROOFING TO ROOF DECK, ROOF FLASHINGS ETC TO HAVE A BARE ROOF FOR SHEATHING INSPECTION. CONTRACTOR SHALL PROVIDE IN THEIR BID A UNIT COST PER SQUARE FOOT FOR THE REMOVAL AND INSTALLATION OF 1/2" PLYWOOD SHEATHING AND A UNIT COST PER LINEAL FOOT FOR THE REMOVAL AND INSTALLATION OF THE 2x4 REDWOOD SUB FASCIA. CONTRACTOR SHALL ALSO REMOVE, STORE, PROTECT AND REINSTALL ROOF TOP SPLIT SYSTEM UNITS AFTER ROOFING IS COMPLETED, START UNIT AND RETURN TO A WORKING CONDITION. INSTALL BUILT UP ROOFING, CURB AND PIPE FLASHING, SHEET METAL CAPS, DRIP FLASHINGS, ETC, CAULKING AND SEALANTS AND REQUIRED FOR A COMPLETE WEATHER TIGHT RE-ROOF OF THE EXISTING KINDERGARTEN BUILDING.

HAZARDOUS MAT'L REMOVAL NOTES

- THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY BOTH THE OWNER AND THE ARCHITECT IF ASBESTOS OR OTHER HAZARDOUS CONTAINING MATERIALS ARE UNCOVERED IN ANY LOCATION OTHER THAN INDICATED IN THESE PLANS OR SPECIFICATIONS WHERE WORK OF THIS CONTRACT IS SCHEDULED.
- COST OF HAZARDOUS MATERIAL REMOVAL/ASBESTOS ABATEMENT SHALL BE BORE BY THE GENERAL CONTRACTOR, AS PART OF THIS CONTRACT. ASBESTOS AND HAZARDOUS MATERIAL TESTING WORK AND SERVICES BY THE CERTIFIED ASBESTOS CONSULTANT ARE NOT A PART OF THIS CONTRACT. THE OWNER WILL EMPLOY THE CERTIFIED ASBESTOS ABATEMENT CONSULTANT AND PAY ALL COST OF TESTING.
- THE COST OF AND SUBSEQUENT REMOVAL OF OTHER BUILDING MATERIALS CONTAINING HAZARDOUS MATERIALS SHALL BE A PART OF THIS CONTRACT. CONTRACTOR SHALL BE REQUIRED TO CONTRACT THE REMOVAL OF ANY AND ALL HAZARDOUS MATERIALS PER REQUIREMENTS AND REGULATIONS PER O.S.H.A., A.H.E.R.A. AND N.E.S.H.A.P. AND ANY OR ALL OTHER APPLICABLE FEDERAL AND STATE REGULATIONS.
- IT SHALL BE CLEARLY UNDERSTOOD BY THE CONTRACTOR AND THE OWNER THAT THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY WHATSOEVER FOR THE DETECTION OF THE PRESENCE OF ANY HAZARDOUS MATERIALS OR THE ABATEMENT OR REMOVAL THERE OF.
- AFTER THE CERTIFIED ASBESTOS CONSULTANT HAS CERTIFIED THE ENVIRONMENT IS FREE OF ASBESTOS FIBERS (AIR SAMPLES AND THE LABORATORY TESTS), THE GENERAL CONTRACTOR SHALL COMPLETE THE WORK OF THIS CONTRACT.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO KEEP THE OWNER AND THE ARCHITECT INFORMED AS OF WHEN THE ASBESTOS ABATEMENT AND HAZARDOUS MATERIALS CONTRACTOR WILL BE REQUIRED TO COMMENCE THEIR WORK.
- IT SHALL BE UNDERSTOOD THAT THE OWNER, THE ARCHITECT AND THE ENGINEER MAKE NO IMPLIED OR EXPRESSED WARRANTY OR GUARANTEE THAT THE LIST OF PRODUCTS/ FINISHES CONTAINING HAZARDOUS BUILDING MATERIALS IS COMPREHENSIVE.
- SEE SPECIFICATION SECTION 02 62 00 HAZARDOUS MATERIALS ABATEMENT AND REMOVAL FOR A LIST OF IDENTIFIED MATERIALS REQUIRING ABATEMENT.

SHEET INDEX

(3) SHEETS TOTAL

TITLE	TITLE SHEET, SHEET INDEX & VICINITY MAP
10.0	ARCHITECTURAL
A1.0	OVERALL SITE PLAN
A6.0	ROOF PLAN

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 AT
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 623 ROSE AVENUE
 FOR
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 TAFT, KERN COUNTY, CALIFORNIA



1601 NEW STINE ROAD, SUITE 280
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STEPHEN J. CORBIN, N.CARB, AIA, LEED AP



TITLE SHEET,
 SHEET INDEX &
 VICINITY MAP

MARK	DATE	REVISIONS
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JOB NO. 1382
 DRAWN: SH
 CHECKED: SH
 DATE: 02/24/25

0.0 OF 3 SHEETS

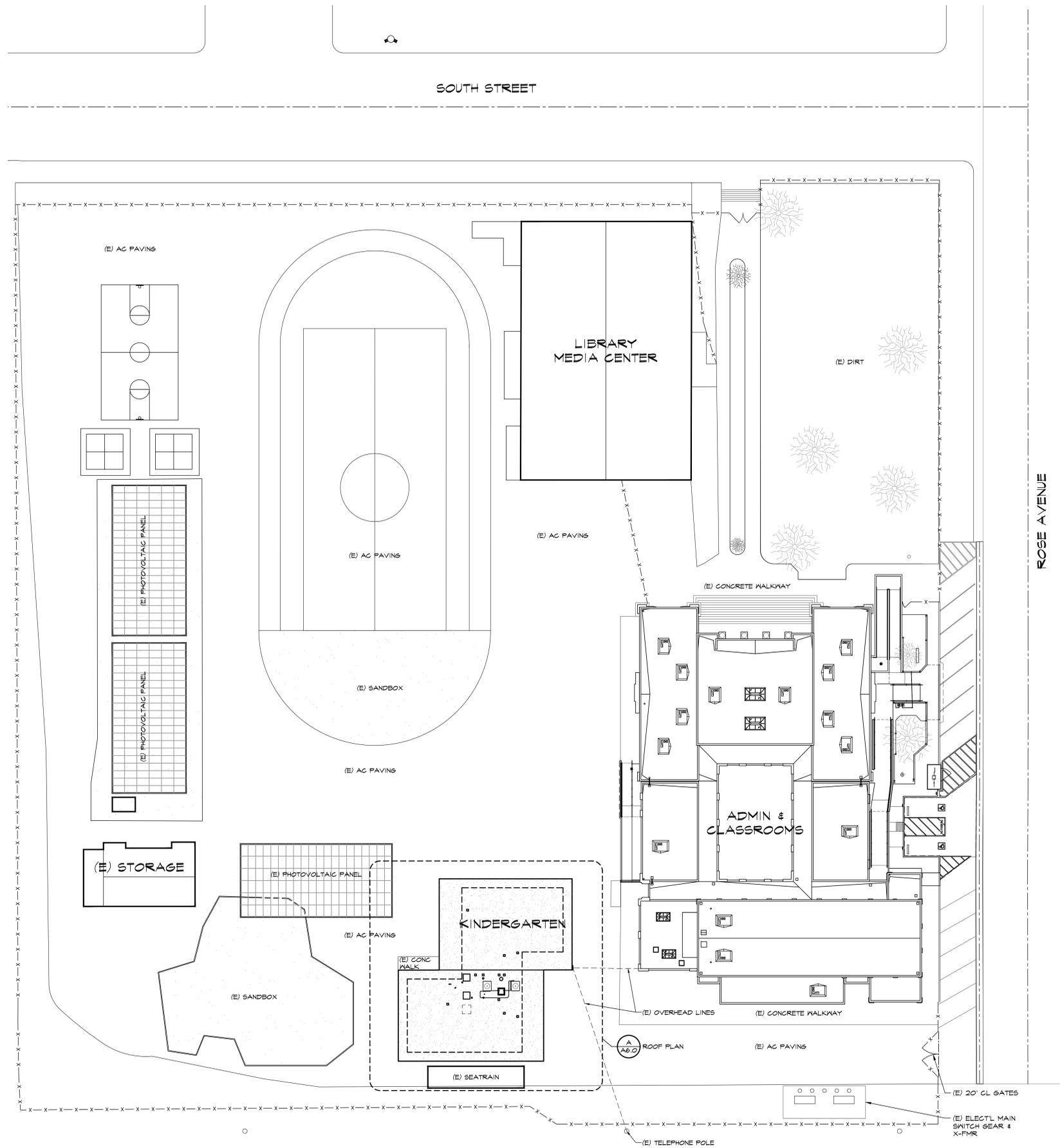
DESIGN TEAM

OWNER	ARCHITECT
TAFT CITY SCHOOL DISTRICT 820 6TH STREET TAFT, CA. 93268 (661) 763-1521	SCARCHITECT, INC. 1601 NEW STINE ROAD, SUITE 280 BAKERSFIELD, CA 93309 (661) 397-4377 FAX (661) 397-4378

VICINITY MAP



PTN : 63800- FILE: 15-87



SOUTH STREET

ROSE AVENUE

OVERALL SITE PLAN

SCALE: 1" = 10'-0"

PTN: 63800- FILE: 15-87

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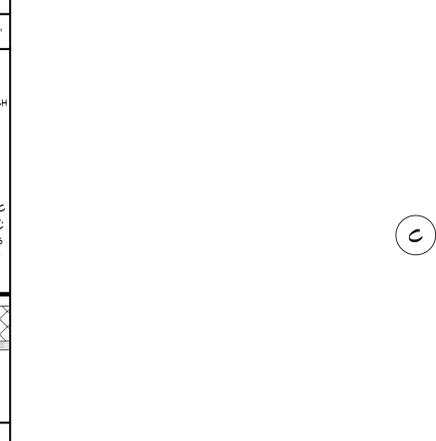
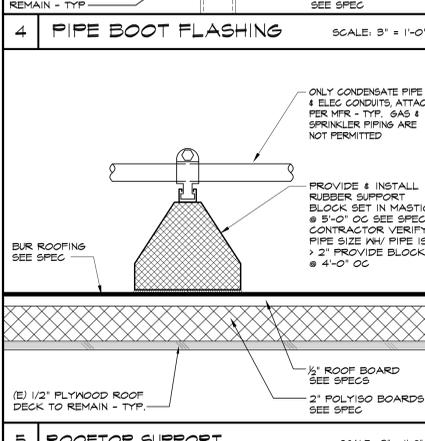
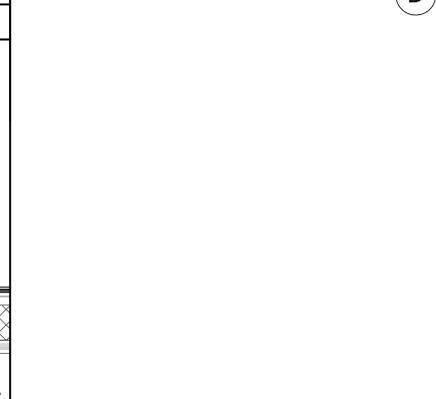
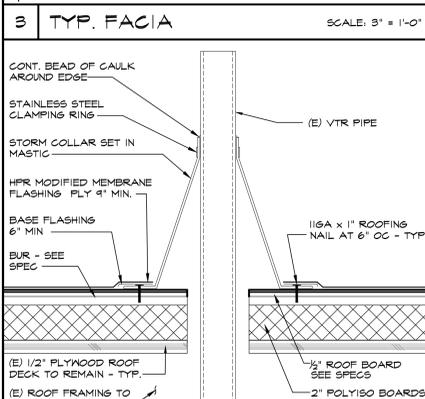
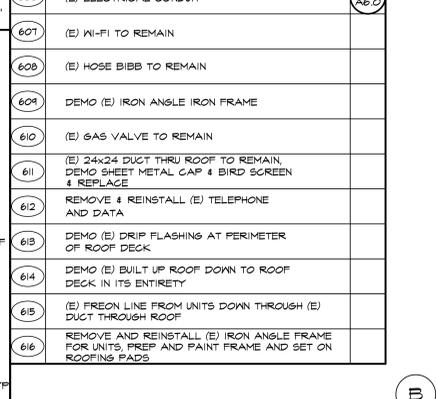
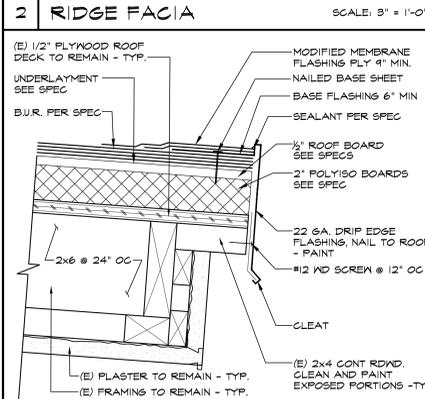
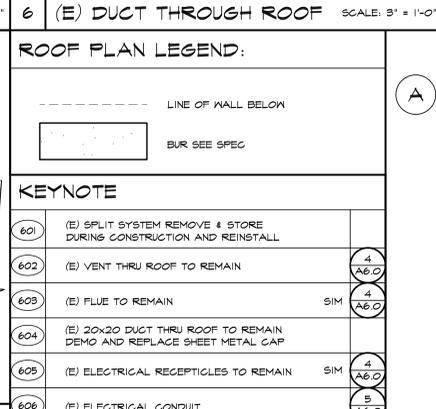
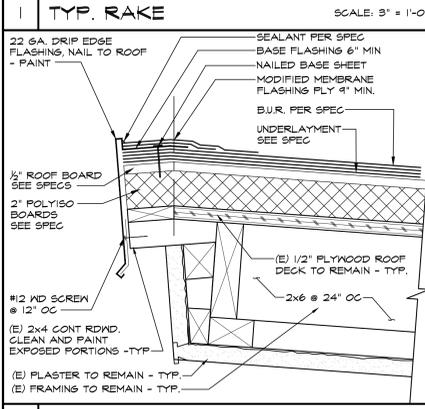
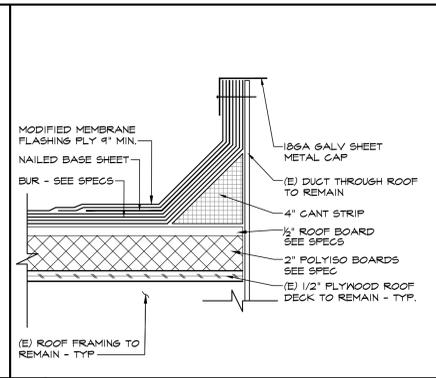
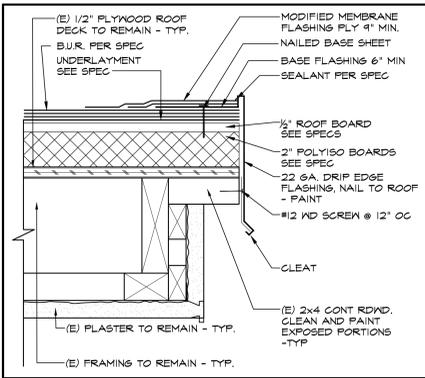


OVERALL SITE PLAN

MARK	DATE	REVISIONS
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JOB NO.	1382
DRAWN:	SH
CHECKED:	----
DATE:	03/14/24

1.0
OF SHEETS

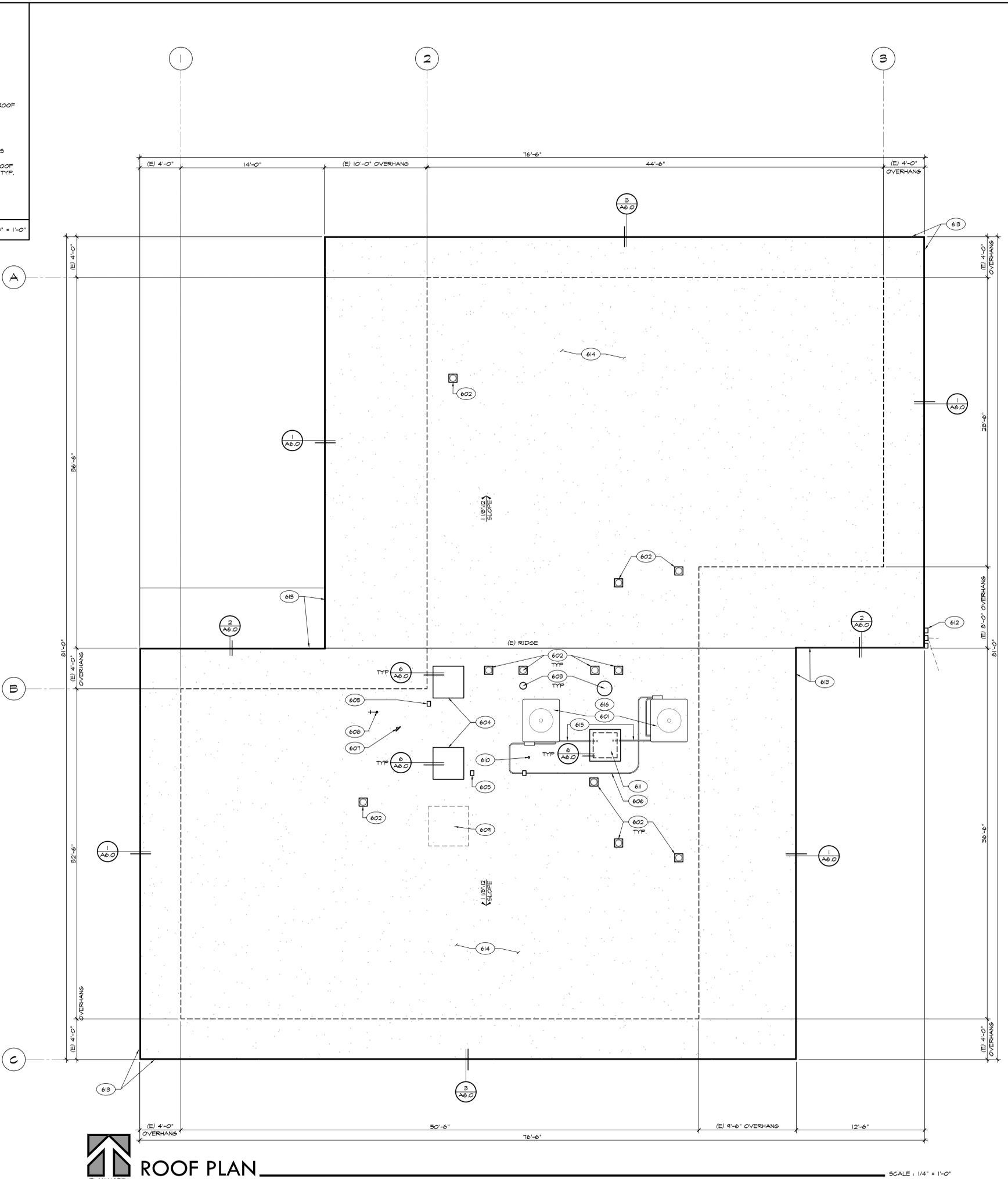


ROOF PLAN LEGEND:

--- LINE OF WALL BELOW
 --- BUR SEE SPEC

KEYNOTE

601	(E) SPLIT SYSTEM REMOVE & STORE DURING CONSTRUCTION AND REINSTALL	4	A&C
602	(E) VENT THRU ROOF TO REMAIN	4	A&C
603	(E) FLUE TO REMAIN	4	A&C
604	(E) 20x20 DUCT THRU ROOF TO REMAIN DEMO AND REPLACE SHEET METAL CAP	4	A&C
605	(E) ELECTRICAL RECEPTICLES TO REMAIN	4	A&C
606	(E) ELECTRICAL CONDUIT	5	A&C
607	(E) W-I-FI TO REMAIN		
608	(E) HOSE BIBB TO REMAIN		
609	DEMO (E) IRON ANGLE IRON FRAME		
610	(E) GAS VALVE TO REMAIN		
611	(E) 24x24 DUCT THRU ROOF TO REMAIN, DEMO SHEET METAL CAP & BIRD SCREEN & REPLACE		
612	REMOVE & REINSTALL (E) TELEPHONE AND DATA		
613	DEMO (E) DRIP FLASHING AT PERIMETER OF ROOF DECK		
614	DEMO (E) BUILT UP ROOF DOWN TO ROOF DECK IN ITS ENTIRETY		
615	(E) FREON LINE FROM UNITS DOWN THROUGH (E) DUCT THROUGH ROOF		
616	REMOVE AND REINSTALL (E) IRON ANGLE FRAME FOR UNITS, PREP AND PAINT FRAME AND SET ON ROOFING PADS		



ROOF PLAN
 PLAN NORTH

SCALE: 1/4" = 1'-0"

PTN: 63800- FILE: 15-87

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ROOF PLAN

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JOB NO. 1382
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6.0
 OF 6 SHEETS