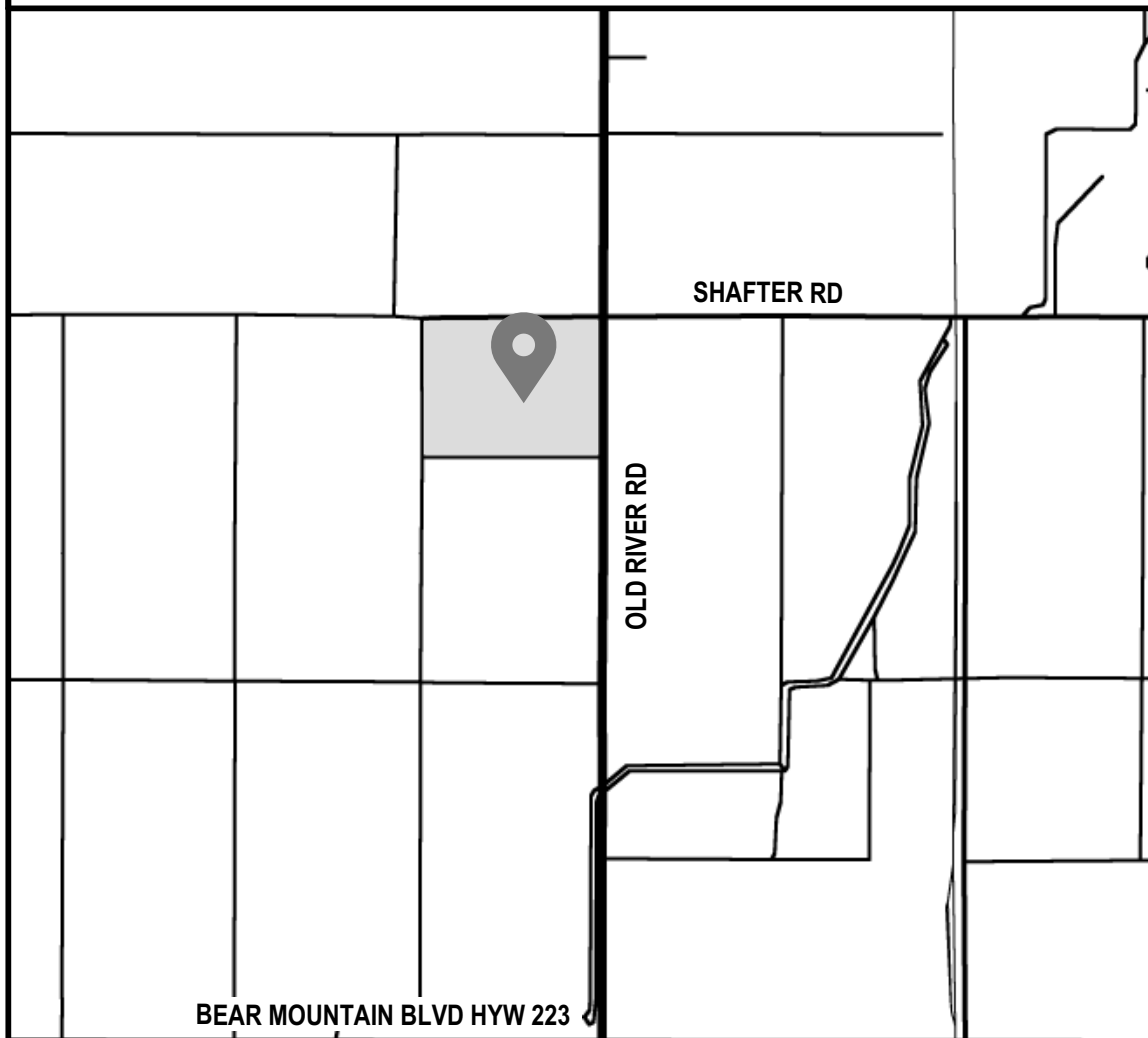
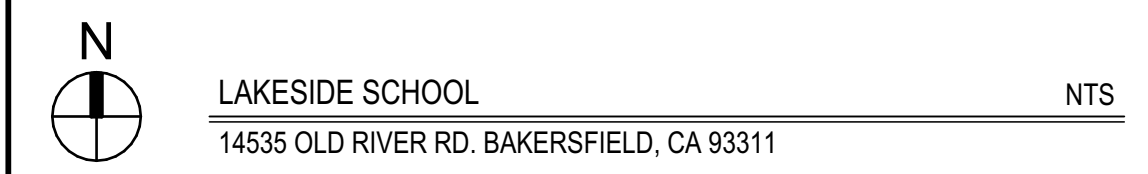


AC PAVING
AT
LAKESIDE SCHOOL
14535 OLD RIVER RD, BAKERSFIELD, CA 93311
FOR:
LAKESIDE UNION SCHOOL DISTRICT
14535 OLD RIVER RD, BAKERSFIELD, CA 93311

GENERAL NOTES		CODE REQUIREMENTS		ACCESSIBILITY STANDARDS		PROJECT INFORMATION		PROJECT DIRECTORY		SHEET INDEX																																																					
<p>1. THE DRAWINGS, IDEAS AND DESIGNS REPRESENTED HEREIN ARE THE PROPERTY OF THE ARCHITECT.</p> <p>2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO CONVEY AN OVERALL DESCRIPTION OF THE PROJECT IN SUFFICIENT DETAIL FOR ITS COMPLETE CONSTRUCTION. SOME CONDITIONS, WHICH ARE COMMONLY ENCOUNTERED IN CONSTRUCTION OF THIS TYPE AND/ OR CONDITIONS WHICH RELATE TO SPECIFIC PRODUCTS OR PROCESSES, MAY NOT BE SPECIFICALLY DETAILED IN THESE PLANS. ALL CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED COMPLETELY PER THE CURRENT STANDARDS OF THE APPROPRIATE INDUSTRY AND ANY APPLICABLE MANUFACTURERS RECOMMENDATIONS.</p> <p>3. NOTHING IN THE PLANS AND SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT CONSTRUCTION IN CONFLICT WITH THE REQUIREMENTS OF ANY CODE, LAW OR ORDINANCE OR REGULATION.</p> <p>4. "TYPICAL" MEANS IDENTICAL FOR ALL SAME CONDITIONS UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN WITH THE ARCHITECT.</p> <p>5. ALL PARTITIONS ARE DIMENSIONED TO CENTERLINE UNLESS OTHERWISE NOTED.</p> <p>6. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS OTHERWISE NOTED (+).</p> <p>7. DO NOT SCALE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS.</p> <p>8. ALL HEIGHTS ARE DIMENSIONED FROM TOP OF EXISTING SLAB UNLESS NOTED OTHERWISE "AFF", ABOVE FINISH FLOOR.</p> <p>9. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB OR CAUSE DAMAGE TO ADJACENT PROPERTIES.</p> <p>10. ALL REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE DIVISION OF STATE ARCHITECT.</p> <p>11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK OR RELATED WORK IN QUESTION.</p> <p>12. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION EQUIPMENT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.</p> <p>13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE PROJECT AND SHALL BE RESPONSIBLE FOR DISCIPLINE OF ALL WORKERS ON THE PROJECT.</p> <p>14. ALL DECORATIVE MATERIALS AND TRIM SHALL COMPLY WITH CALIFORNIA BUILDING CODE, SECTION 806.1</p> <p>15. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION PER CEC 110.7</p> <p>16. ALL WORK SHALL CONFORM TO 2022 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).</p> <p>17. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR.</p> <p>18. A "DSA CERTIFIED" PROJECT INSPECTOR (MIN. CLASS 3) EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4342, PART 1, TITLE 24, CCR.</p> <p>19. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.</p> <p>20. ALL MATERIALS AND WORK SHOWN SHALL BE CONSIDERED A PART OF THE SCOPE OF WORK FOR THIS PROJECT UNLESS INDICATED AS EXISTING (E).</p> <p>21. WHENEVER DSA FINDS ANY CONSTRUCTION WORK IS BEING PERFORMED IN A MANNER CONTRARY TO THE PROVISIONS OF CALIFORNIA BUILDING CODE AND THAT WOULD COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING, THE DEPARTMENT OF GENERAL SERVICES, STATE OF CALIFORNIA, IS AUTHORIZED TO ISSUE A STOP WORK ORDER PER SECTION 4-334.1 CALIFORNIA ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR).</p> <p>22. TITLE 24, PARTS 1-5 AND 9 MUST BE KEPT ON SITE DURING CONSTRUCTION.</p> <p>23. ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING MATERIALS INSTALLATION TO COMPLY WITH APPLICABLE CODES, STANDARDS, AND MANUFACTURERS RECOMMENDATIONS.</p> <p>24. THE PROJECT INSPECTION (PI) SHALL WITNESS AND VERIFY GROUNDING.</p> <p>25. WORK SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 33 OF CBC & CFC DURING CONSTRUCTION AND DEMOLITION.</p> <p>26. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR).</p> <p>27. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNERS) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.</p>		<p>ALL DRAWINGS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES: TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS</p> <p>2022 TITLE 24 CCR, PART 1 - 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)</p> <p>2022 TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) (2021 IBC, AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC) (2020 NEC (NFPA), AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC) (2021 IAPMO UMC, AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC) (2021 IAPMO UPC, AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE</p> <p>2022 TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC) (2021 IFC, AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 10 - 2022 CALIFORNIA EXISTING BUILDING CODE (IEBC) (2021 INTERNATIONAL EXISTING BUILDING CODE, AS AMENDED BY CA)</p> <p>2022 TITLE 24 CCR, PART 11 - 2022 GREEN BUILDING STANDARDS CODE (CALGREEN CODE)</p> <p>2022 TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS</p> <p>2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</p> <p>PARTIAL LIST OF APPLICABLE STANDARDS</p> <p>2022 NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)</p> <p>2019 NFPA 14, STANDPIPE & HOSE (CA AMENDED)</p> <p>2019 NFPA 20, PUMPS FOR FIRE PROTECTION</p> <p>2019 NFPA 24, FIRE SERVICE MAINS (CA AMENDED)</p> <p>2022 NFPA 72, FIRE ALARM CODE (CA AMENDED)</p> <p>NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT CONSTRUCTION IN CONFLICT WITH THE REQUIREMENTS OF ANY CODE, LAW, ORDINANCE, OR REGULATION. THE FOLLOWING AGENCIES SHALL HAVE JURISDICTION OVER THE PROGRESS OF THE WORK:</p> <table><tr><td>CALOSHA</td><td>DIVISION OF THE STATE ARCHITECT</td></tr><tr><td>REGULATORY SERVICES</td><td>COUNTY OF KERN</td></tr><tr><td>STRUCTURAL SAFETY SECTION</td><td>FIRE DEPARTMENT</td></tr><tr><td>FIRE & LIFE SAFETY SECTION</td><td>PUBLIC WORKS DEPARTMENT</td></tr><tr><td>ACCESS COMPLIANCE SECTION</td><td></td></tr></table>		CALOSHA	DIVISION OF THE STATE ARCHITECT	REGULATORY SERVICES	COUNTY OF KERN	STRUCTURAL SAFETY SECTION	FIRE DEPARTMENT	FIRE & LIFE SAFETY SECTION	PUBLIC WORKS DEPARTMENT	ACCESS COMPLIANCE SECTION		<p>DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS ADDITIONS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FIND OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.</p> <p>DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT</p> <p>1. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATION BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP AND TURN OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.</p> <p>2. MAXIMUM EFFORT TO OPERATE SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS WHEN FIRE DOORS ARE REQUIRED. THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 POUNDS.</p> <p>3. CONSTRUCTION: THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAMES ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.</p> <p>4. FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS SHALL MEET THIS OPENING WIDTH REQUIREMENT.</p> <p>5. IN ADDITION TO ALL LOCAL CODES, ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, TITLE 24, AS WELL AS FEDERAL A.D.A., (AMERICANS WITH DISABILITIES ACT).</p>		<p>CONSTRUCTION TYPE: N/A</p> <p>OCCUPANCY TYPE: N/A</p> <p>BUILDING HEIGHT: N/A</p> <p>STORIES: N/A</p> <p>PROJECT AREA: TOTAL BUILDING AREA: = N/A</p> <p>FIRE SPRINKLERS: N/A</p> <p>PARKING : PARKING LOT 'A' 52 STANDARD SPACES 4 EV CAPABLE SPACE 1 VAN ACCESSIBLE SPACE 1 ACCESSIBLE SPACE 58 TOTAL SPACES</p> <p>PARKING LOT 'C' 11 STANDARD SPACES 2 EV CAPABLE SPACES 2 ACCESSIBLE SPACE 15 TOTAL SPACES</p> <p>PARKING LOT 'D' 21 STANDARD SPACES 15 EV CAPABLE SPACES 11 EV SPACES 1 VAN ACCESSIBLE EV 1 ACCESSIBLE SPACE 49 TOTAL SPACES</p> <p>PARKING LOT 'E' 68 STANDARD SPACES 12 EV CAPABLE SPACES 1 VAN ACCESSIBLE EV 5 ACCESSIBLE SPACE 116 TOTAL SPACES</p>		<p>OWNER Lakeside Union School District 14535 Old River Rd. Bakersfield, CA 93311 Phone: (661) 838-6658 Fax: (661) 836-8059</p> <p>CIVIL Afinar Consulting Civil Engineers 214 Bernard St. Bakersfield, CA 93305 Phone: (661) 716-7443 Fax: (661) 716-7443 Bernard Salgado</p> <p>ARCHITECT Ordiz Melby Architects, Inc. 5500 Ming Avenue, Suite 280 Bakersfield, CA 93309 Phone: (661) 832-5258 Fax: (661) 832-4219 JOSEPH E. ZASOSKI</p> <p>ELECTRICAL JMPE Electrical Engineering Lighting Design 5500 Ming Avenue, Suite 251 Bakersfield, CA 93309 Phone: (661) 831-7851 Fax: (661) 831-7813 John Maloney</p>		<p>GENERAL INFORMATION</p> <table><tr><td>G-001</td><td>GENERAL INFORMATION</td></tr></table> <p>CIVIL DRAWINGS</p> <table><tr><td>C-1</td><td>COVER SHEET/ NOTES/ DETAILS</td></tr><tr><td>C-2</td><td>GRADING AND DRAINAGE PLAN</td></tr><tr><td>C-3</td><td>GRADING AND DRAINAGE PLAN</td></tr></table> <p>ARCHITECTURAL DRAWINGS</p> <table><tr><td>A-111</td><td>SITE PLAN: DEMO</td></tr><tr><td>A-112</td><td>SITE PLAN: ACCESSIBILITY</td></tr><tr><td>A-113</td><td>SITE PLAN: ENLARGED DEMO</td></tr><tr><td>A-114</td><td>SITE PLAN: ENLARGED</td></tr><tr><td>A-115</td><td>SITE PLAN: ENLARGED DEMO</td></tr><tr><td>A-116</td><td>SITE PLAN: ENLARGED</td></tr><tr><td>A-117</td><td>SITE PLAN: ENLARGED DEMO</td></tr><tr><td>A-118</td><td>SITE PLAN: ENLARGED DEMO</td></tr><tr><td>A-119</td><td>SITE PLAN ENLARGED</td></tr><tr><td>A-501</td><td>DETAILS</td></tr></table> <p>ELECTRICAL DRAWINGS</p> <table><tr><td>E-001</td><td>GENERAL NOTES, SYMBOLS, SCHEDULES & DETAILS</td></tr><tr><td>E-100</td><td>OVERALL ELECTRICAL SITE PLAN</td></tr><tr><td>E-110</td><td>ENLARGED SITE LIGHTING PLAN</td></tr><tr><td>E-120</td><td>ENLARGED SITE LIGHTING PLAN</td></tr><tr><td>E-130</td><td>ENLARGED SITE LIGHTING PLAN</td></tr><tr><td>E-200</td><td>SITE LIGHTING PHOTOMETRIC PLAN</td></tr></table>		G-001	GENERAL INFORMATION	C-1	COVER SHEET/ NOTES/ DETAILS	C-2	GRADING AND DRAINAGE PLAN	C-3	GRADING AND DRAINAGE PLAN	A-111	SITE PLAN: DEMO	A-112	SITE PLAN: ACCESSIBILITY	A-113	SITE PLAN: ENLARGED DEMO	A-114	SITE PLAN: ENLARGED	A-115	SITE PLAN: ENLARGED DEMO	A-116	SITE PLAN: ENLARGED	A-117	SITE PLAN: ENLARGED DEMO	A-118	SITE PLAN: ENLARGED DEMO	A-119	SITE PLAN ENLARGED	A-501	DETAILS	E-001	GENERAL NOTES, SYMBOLS, SCHEDULES & DETAILS	E-100	OVERALL ELECTRICAL SITE PLAN	E-110	ENLARGED SITE LIGHTING PLAN	E-120	ENLARGED SITE LIGHTING PLAN	E-130	ENLARGED SITE LIGHTING PLAN	E-200	SITE LIGHTING PHOTOMETRIC PLAN		
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<p>1. ALL EXITS SHALL BE OPENABLE DURING BUSINESS HOURS FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE. NO DEAD OR SLIDING BOLTS. NO LATCH OR LATCHING DEVICE EXCEPT PANIC HARDWARE PERMITTED.</p> <p>2. EXIT SIGNS MUST BE INTERNALLY ILLUMINATED.</p> <p>3. PROVIDE TWO SEPARATE CIRCUITS FOR EXIT SIGNS.</p> <p>4. PROVIDE TWO SEPARATE SOURCES OF POWER FOR EXIT SIGNS.</p>		<p>1. PROVIDE ONE 4A 10 B C, RATED EXTINGUISHER FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. TRAVEL DISTANCE SHALL NOT EXCEED 75 FEET.</p> <p>2. FIRE DAMPER ASSEMBLIES, INCLUDING SLEEVES AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.</p>		<p>1. NEW AC PAVING AND RELATED SITE WORK FOR PARKING LOTS.</p> <p>2. NEW CONCRETE RAMP WITH AND ASSOCIATED SITE WORK.</p> <p>"SCOPE OF WORK" STATEMENT IS IN NO WAY TO BE USED FOR CONTRACTOR BIDDING PURPOSE. SCOPE OF WORK STATEMENT PROVIDES CONTRACTOR WITH GENERAL DESCRIPTION OF WORK.</p>		<table><tr><th>BUILDING</th><th>TYPE</th><th>APP # 03-</th><th>DSA CERTIFICATION</th></tr><tr><td>BUILDING '100'</td><td>CLASSROOMS</td><td>2052</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>BUILDING '200'</td><td>CLASSROOMS</td><td>4481</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>BUILDING '300'</td><td>CLASSROOMS & ADMINISTRATION</td><td>3751</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>BUILDING '400'</td><td>CAFETRIA / AUDITORIUM</td><td>16750 03-102692</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1</td></tr><tr><td>BUILDING '500'</td><td>LIBRARY/ POOL</td><td>4482 03-102692</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1</td></tr><tr><td>BUILDING '600'</td><td>GYMNASIUM</td><td>7910 03-102692</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1</td></tr><tr><td>BUILDING '700'</td><td>CLASSROOM/ NURSE/ WOOD SHOP</td><td>4480</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>BUILDING '800'</td><td>KINDERGARTEN CLASSROOMS</td><td>12959</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>BUILDING '900'</td><td>STORAGE</td><td>5514</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>PORTABLE (A-E)</td><td>CLASSROOMS</td><td>03-107036</td><td>CERT# 1</td></tr><tr><td>PORTABLE (G-K)</td><td>CLASSROOMS</td><td>03-123475</td><td>--</td></tr><tr><td>(E) NON-DISTRICT PORTABLES</td><td>CLASSROOMS</td><td>55258</td><td>PRE-TRACKER INFORMATION NOT AVAILABLE</td></tr><tr><td>SHADE STRUCTURE</td><td>SHADE STRUCTURE</td><td>03-102692</td><td>CERT# 1</td></tr></table> <p>NOTE: THIS DSA APPLICATION 03-124936, SHOULD NOT BE CERTIFIED UNTIL 03-123475, IS CERTIFIED.</p> <p>THIS PROJECT SHALL NOT BE CERTIFIED UNTIL 03-124360 IS CERTIFIED FOR THE REQUIRED POT ELEMENTS SERVING AREA OF WORK.</p>		BUILDING	TYPE	APP # 03-	DSA CERTIFICATION	BUILDING '100'	CLASSROOMS	2052	PRE-TRACKER INFORMATION NOT AVAILABLE	BUILDING '200'	CLASSROOMS	4481	PRE-TRACKER INFORMATION NOT AVAILABLE	BUILDING '300'	CLASSROOMS & ADMINISTRATION	3751	PRE-TRACKER INFORMATION NOT AVAILABLE	BUILDING '400'	CAFETRIA / AUDITORIUM	16750 03-102692	PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1	BUILDING '500'	LIBRARY/ POOL	4482 03-102692	PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1	BUILDING '600'	GYMNASIUM	7910 03-102692	PRE-TRACKER INFORMATION NOT AVAILABLE CERT# 1	BUILDING '700'	CLASSROOM/ NURSE/ WOOD SHOP	4480	PRE-TRACKER INFORMATION NOT AVAILABLE	BUILDING '800'	KINDERGARTEN CLASSROOMS	12959	PRE-TRACKER INFORMATION NOT AVAILABLE	BUILDING '900'	STORAGE	5514	PRE-TRACKER INFORMATION NOT AVAILABLE	PORTABLE (A-E)	CLASSROOMS	03-107036	CERT# 1	PORTABLE (G-K)	CLASSROOMS	03-123475	--	(E) NON-DISTRICT PORTABLES	CLASSROOMS	55258	PRE-TRACKER INFORMATION NOT AVAILABLE	SHADE STRUCTURE	SHADE STRUCTURE	03-102692	CERT# 1
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a professional corporation
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JOSEPH E. ZASOSKI
C-36742
MAY 31, 2025
RENEWAL
STATE OF CALIFORNIA

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ARCHITECT C-38294

JEANNE S. BERTOLACCINI, AIA
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JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

AC PAVING
AT
LAKESIDE SCHOOL
14535 OLD RIVER RD
BAKERSFIELD, CA 93311

FOR:
LAKESIDE UNION
SCHOOL DISTRICT
14535 OLD RIVER RD.
BAKERSFIELD, CA 93311

SHEET TITLE
GENERAL INFORMATION

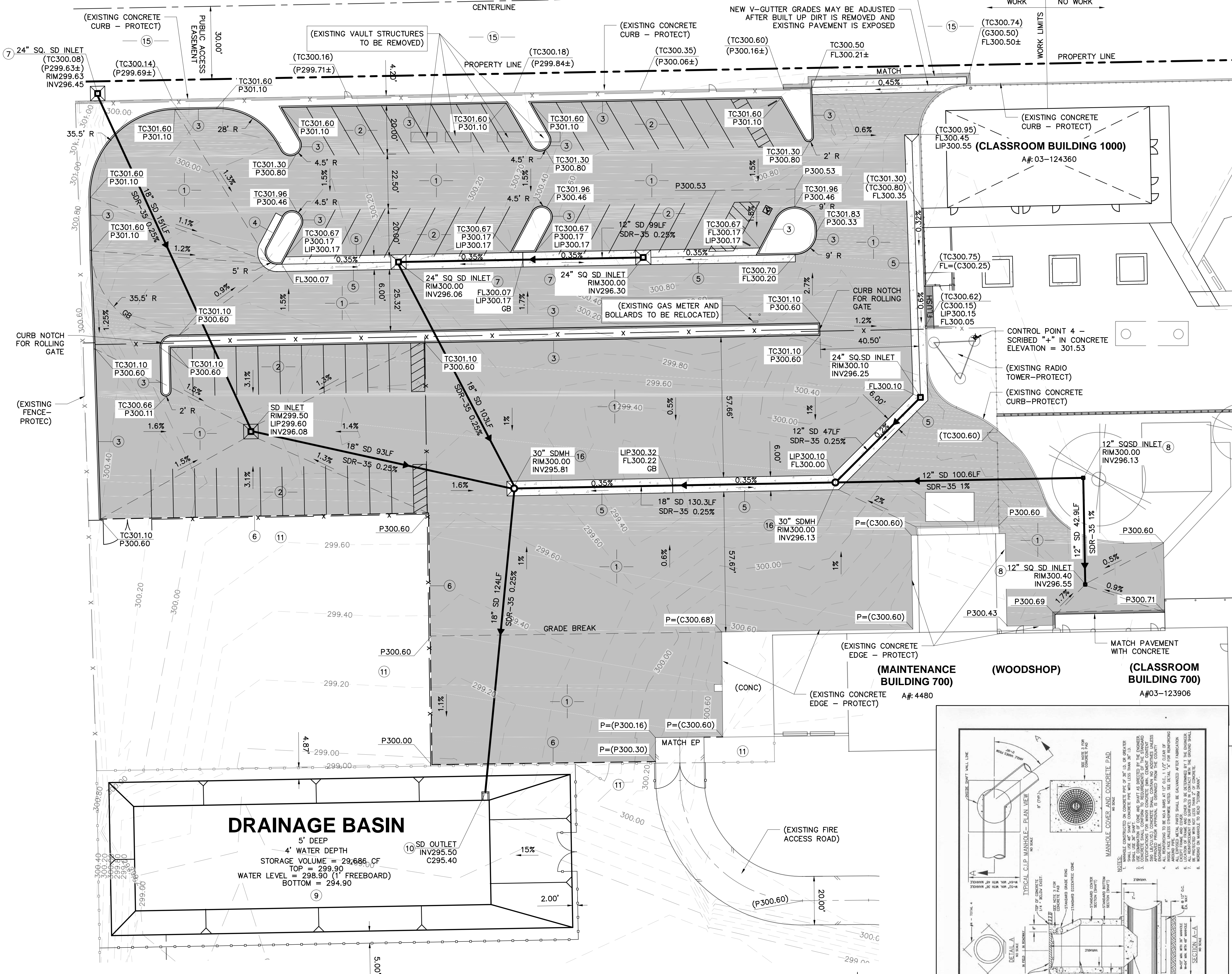
SHEET IDENTIFICATION NUMBER
G-001

SHEETS IN SET 20

ONSITE IMPROVEMENTS

- 1 DRIVE AISLE PAVEMENT SECTION - NEW 4" ASPHALT PAVEMENT OVER 8" CLASS II AGGREGATE BASE. COMPACTED TO 95% RELATIVE COMPACTION, OVER 12" SCARIFY AND COMPACT NATIVE SOIL TO 95% RELATIVE COMPACTION.
- 2 PARKING STALL PAVEMENT SECTION - NEW 2" ASPHALT PAVEMENT OVER 4" CLASS II AGGREGATE BASE. COMPACTED TO 95% RELATIVE COMPACTION, OVER 12" SCARIFY AND COMPACT NATIVE SOIL TO 95% RELATIVE COMPACTION.
- 3 NEW 6" CONCRETE CURB SEE DETAIL 1/C-1
- 4 NEW 6" CONCRETE CURB AND GUTTER SEE DETAIL 2/C-1
- 5 NEW 6' WIDE CONCRETE V-GUTTER SEE DETAIL 3/C-1
- 6 NEW REDWOOD HEADER AT PAVEMENT EDGE, WHERE NEW PAVEMENT IS NOT MATCHING EXISTING PAVEMENT OR MATCHING CONCRETE EDGE. SEE DETAIL 4/C-1 AND 5/C-1.
- 7 NEW 24" SQ. CONCRETE TRAFFIC RATED DRAIN BOX WITH TRAFFIC RATED METAL GRATE. SEE DETAIL 1 SHEET C-3.
- 8 NEW 12" SQ. CONCRETE DRAIN BOX WITH ADA METAL GRATE. SEE DETAIL 2 SHEET C-3.
- 9 CUT NEW DRAINAGE BASIN PER COUNTY OF KERN STANDARD D-1. SEE SHEET C-3.
- 10 NEW CONCRETE OUTLET STRUCTURE PER COUNTY OF KERN STANDARDS D-2. SEE SHEET C-3.
- 11 CLEAR AND GRUB, RE-GRADE AREA SMOOTH DAYLIGHT TO EXISTING GROUND.
- 12 NEW 36"x60" CONCRETE TRAFFIC RATED DRAIN BOX WITH TRAFFIC RATED METAL GRATE. SEE DETAIL 2 SHEET C-3.
- 13 NEW 4" RAISED CONCRETE CURB WITH 3.5" CURB CUTS AT 9' O.C. MAX. SEE DETAIL 6/C-1
- 14 TRUNCATED DOMES
- 15 REMOVE BUILT UP DIRT FROM EXISTING PAVED ROAD. APPROXIMATELY 4" TO 6" THICK.
- 16 NEW 30" ROUND CONCRETE TRAFFIC RATED STORM DRAIN MANHOLE WITH TRAFFIC RATED LID. PER KERN COUNTY STANDARD D-5. SEE SHEET C-2.

SHAFTER ROAD



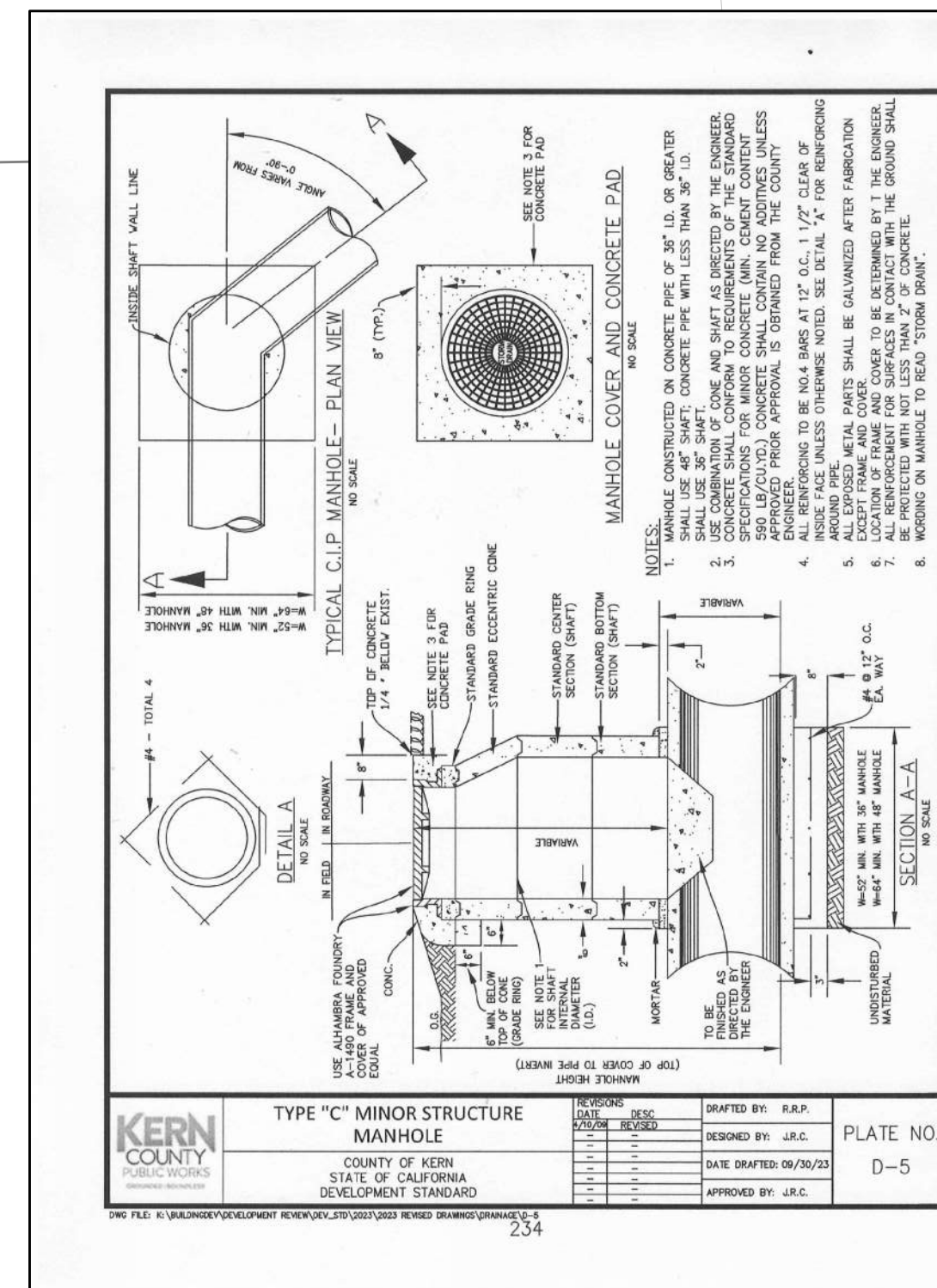
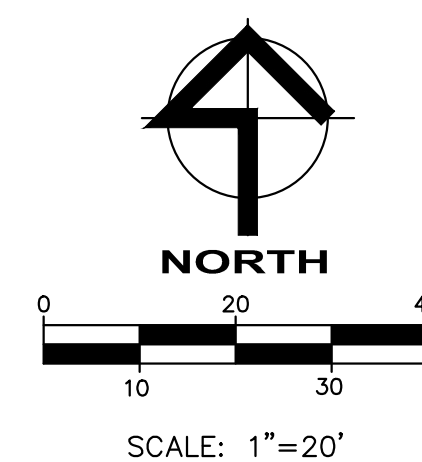
DRAINAGE BASIN

5' DEEP
4' WATER DEPTH
STORAGE VOLUME = 29,686 CF
TOP = 299.90
WATER LEVEL = 298.90 (1' FREEBOARD)
BOTTOM = 294.90

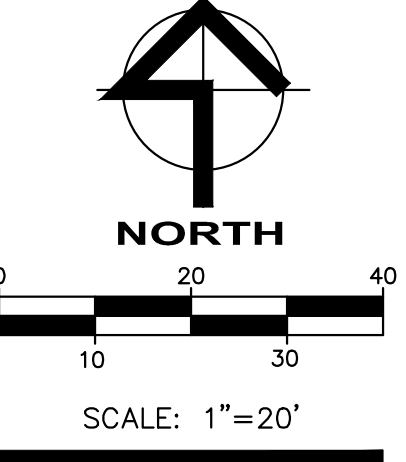
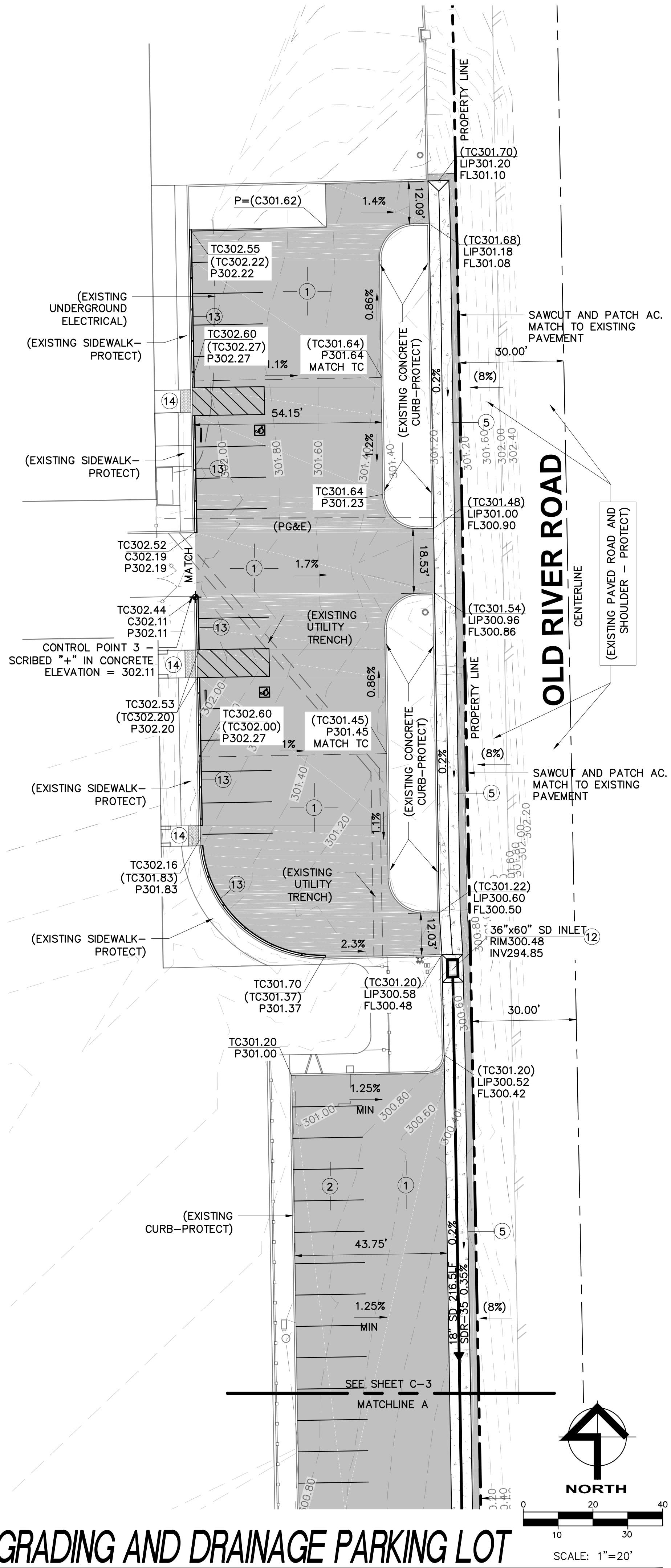
NO DEMOLITION SHOWN ON THIS PLAN. REFER TO ARCHITECTURAL FOR DEMOLITION REQUIREMENTS.

THESE PLANS ARE PART OF A LARGER SET. CONTRACTOR TO VERIFY AND COMPARE WITH COMPLETE SET FOR DIMENSIONS OF BUILDING AND SITE.

GRADING AND DRAINAGE PLAN BUS YARD AND PARKING LOT



GRADING AND DRAINAGE PARKING LOT



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MARK	DATE	DESCRIPTION

JOB NUMBER:
2387
AK#03-124936
CAD DRAWING FILE:
2387 ASPHALT SURFACING @ Lakeside CD27.pln
DRAWN BY:
AF
CHECKED BY:
GA
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SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET IDENTIFICATION NUMBER

C-2

SHEETS IN SET 20



214 BERNARD STREET
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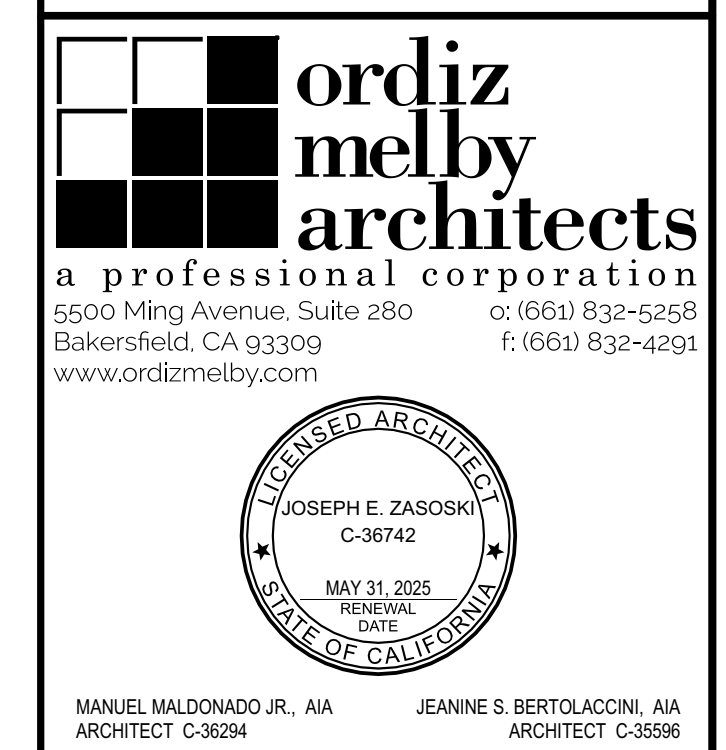
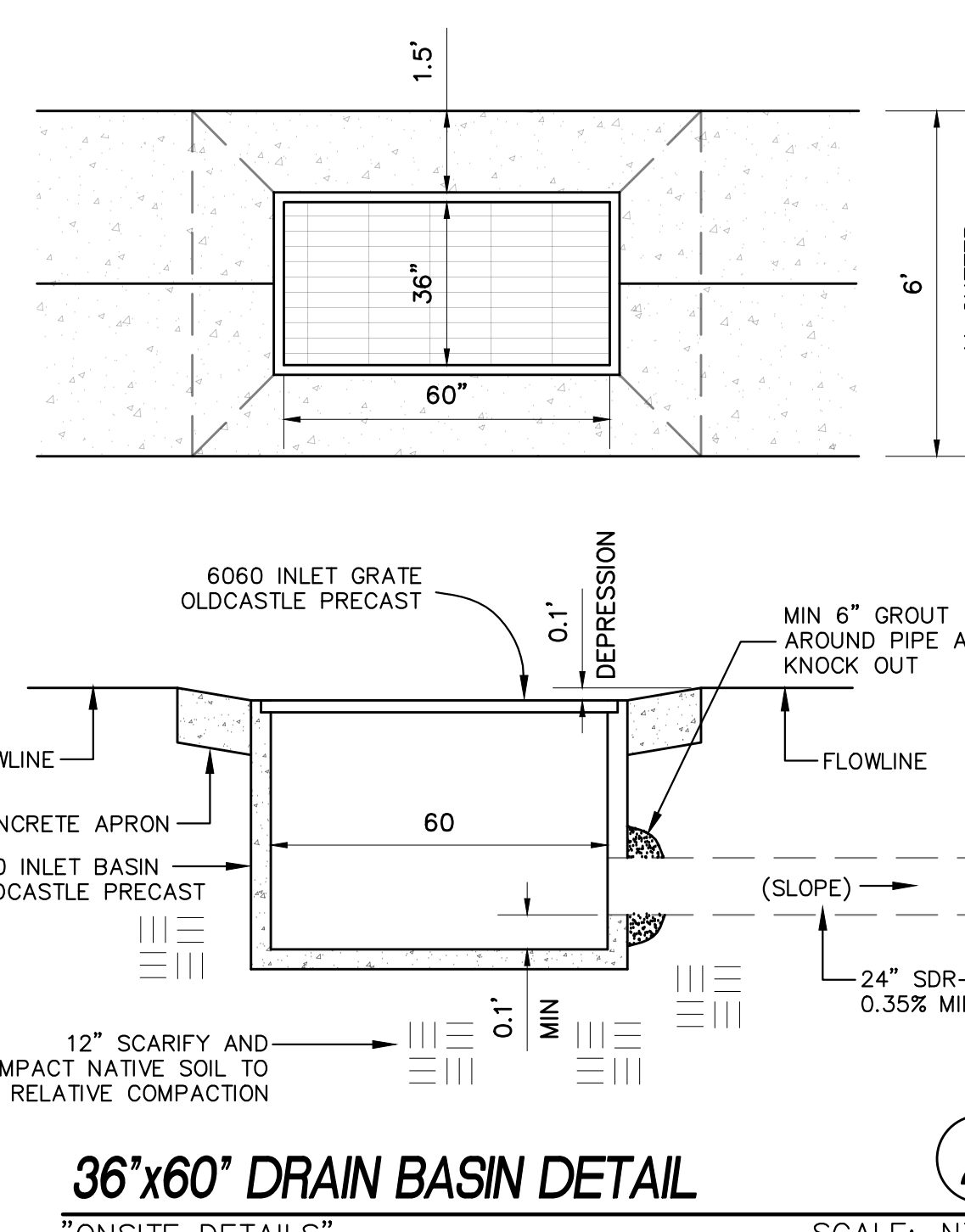
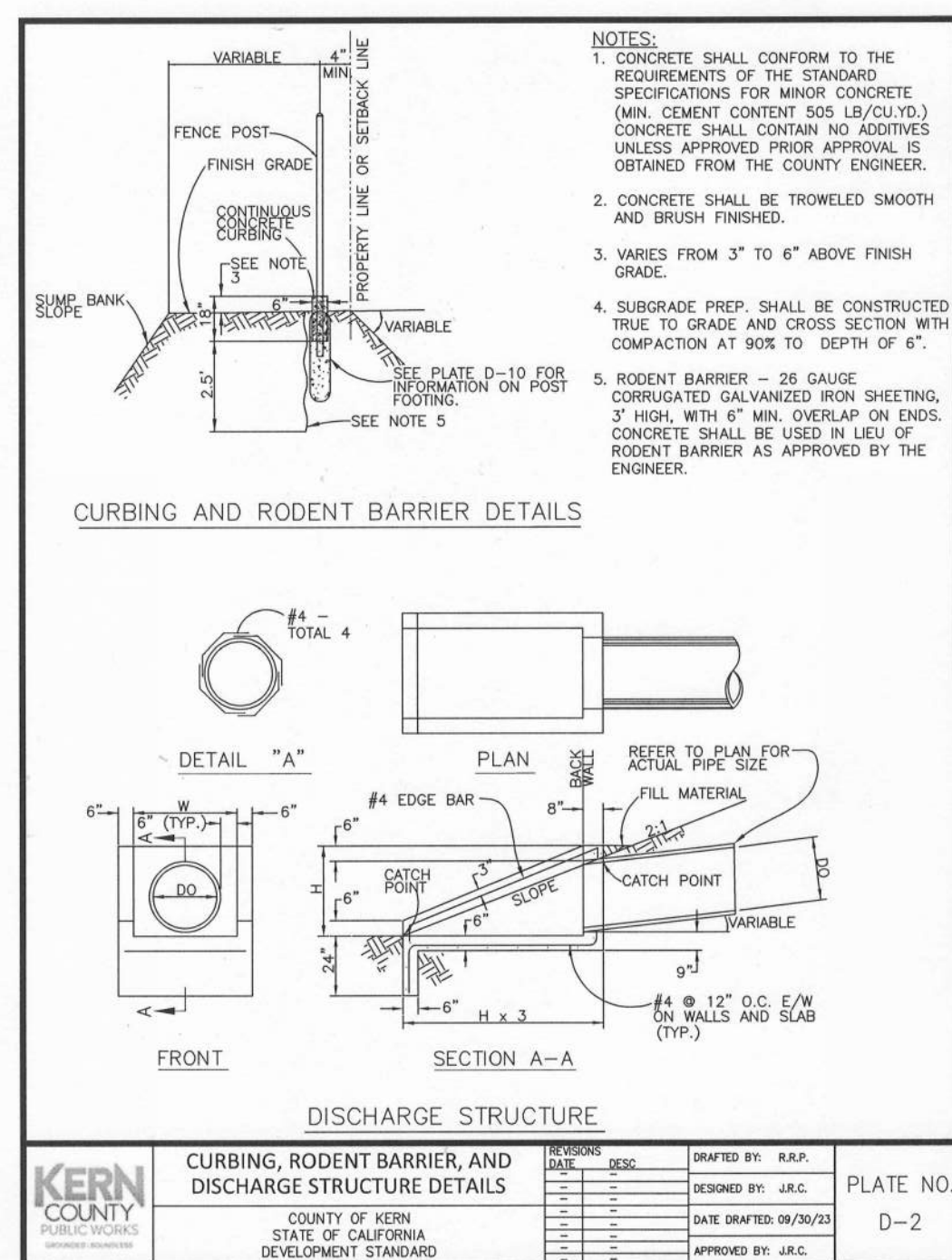


THESE PLANS WERE PREPARED
BY ME OR UNDER MY DIRECTION
Bernard O. Salgado 2/25/25
BERNARD O. SALGADO, PE DATE

DATE:	BY:	REVISION:

LAKESIDE SCHOOL
LAKESIDE UNION SCHOOL DISTRICT
AC PAVING PROJECT
14535 OLD RIVER ROAD BAKERSFIELD, CA 93311
GRADING AND DRAINAGE PLAN

DATE: 2-25-2025
DRAWN BY: AFINAR
SCALE: AS NOTED
JOB#: 2024-31
C-2
2 OF 3



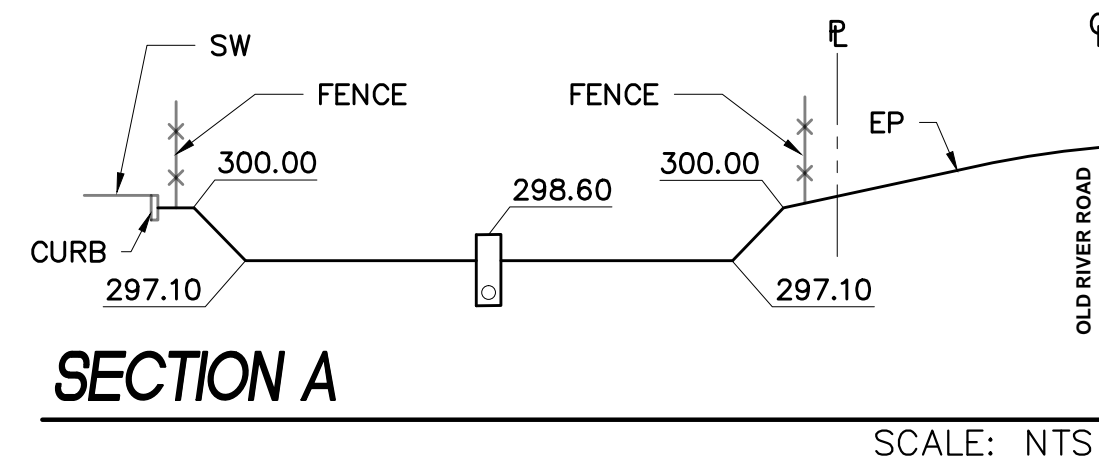
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SCHOOL DISTRICT**

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- [illegible]



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Bernard O. Salgado 2/25/25
BERNARD O. SALGADO, PE DATE

[illegible]

LAKESIDE SCHOOL
LAKESIDE UNION SCHOOL DISTRICT
AC PAVING PROJECT
14535 OLD RIVER ROAD BAKERSFIELD, CA 93311
GRADING AND DRAINAGE PLAN

DATE: 2-25-2025
DRAWN BY: AFINAR
SCALE: AS NOTED
JOB#: 2024-31
C-3 3 OF 3

SHEET IDENTIFICATION NUMBER

C-3


SHEETS IN SET 20

SITE LEGEND	
TYPE	DESCRIPTION
	EXISTING TURF
	EXISTING AC PAVING
	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR A/F'S) NO WORK IN THIS AREA
	EXISTING AC PAVING, TO REMOVE
	EXISTING ACCESSIBLE RESTROOMS

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DRAWN BY:
AF

CHECKED BY:
GA

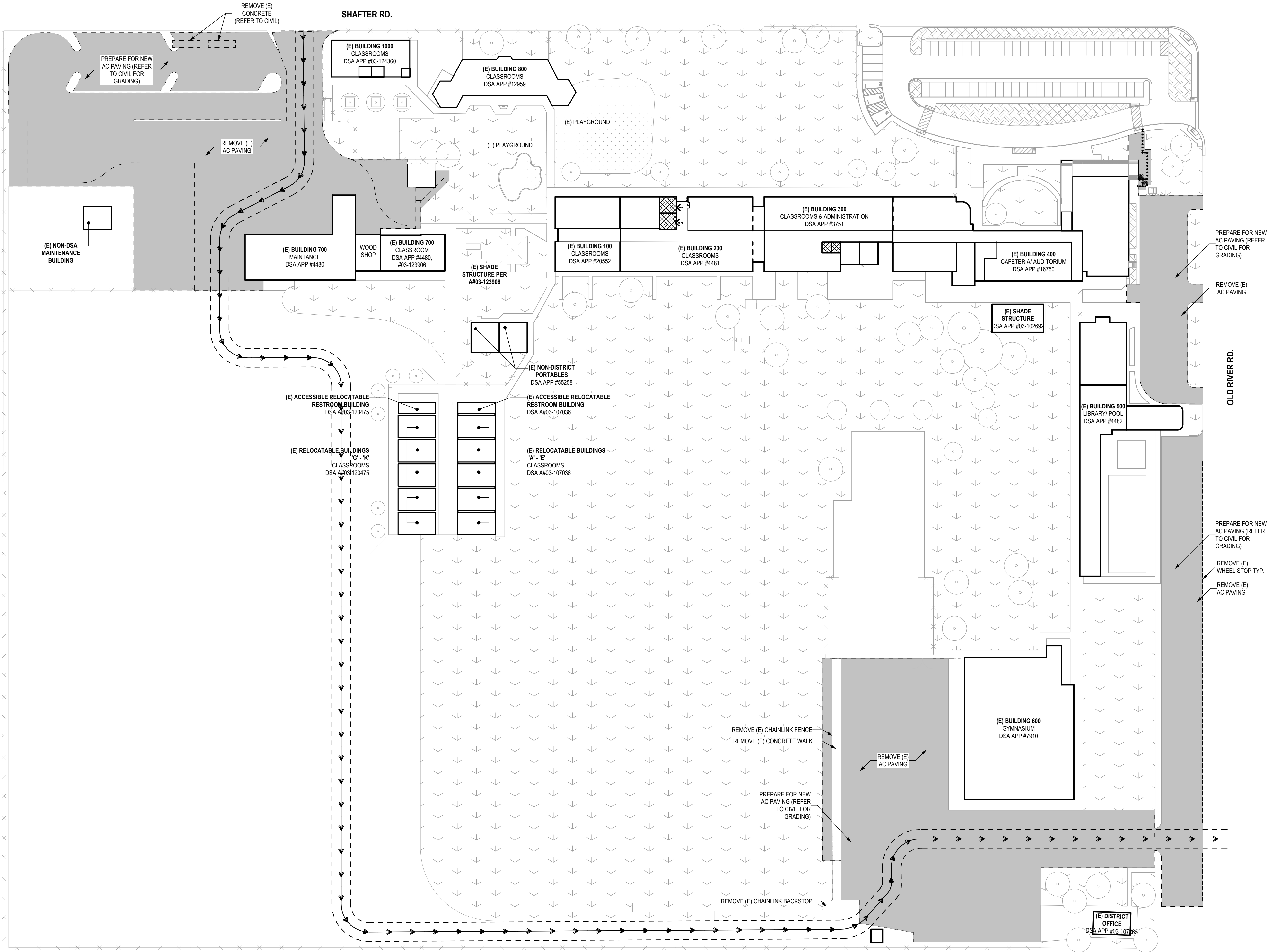
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SHEET TITLE
SITE PLAN: DEMO

SHEET IDENTIFICATION NUMBER
A-111

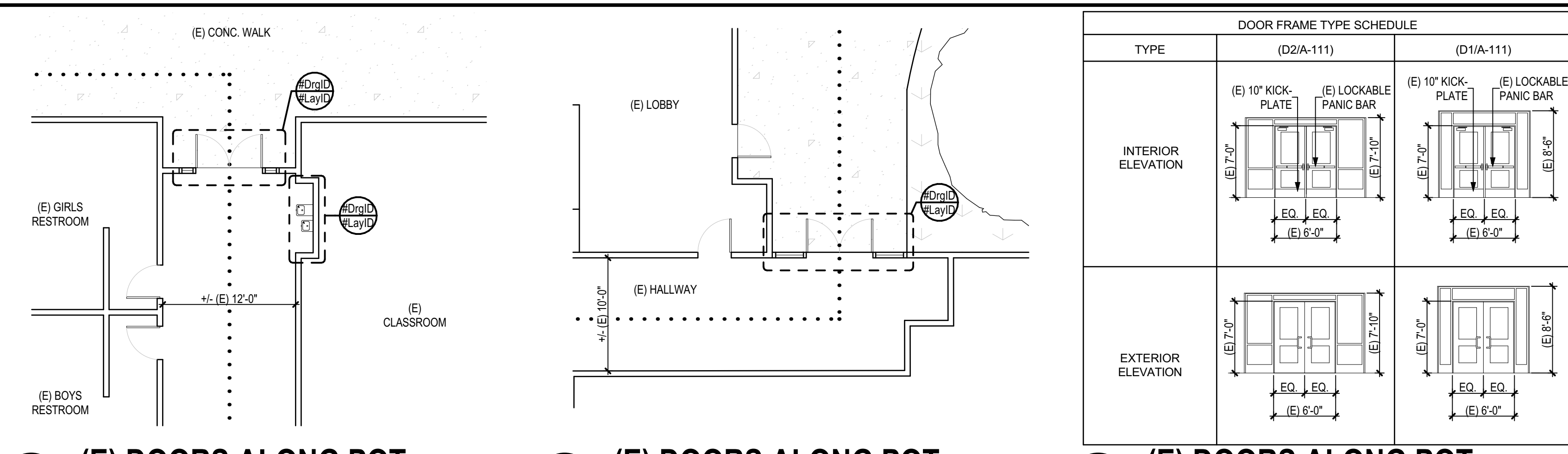
SHEETS IN SET 20



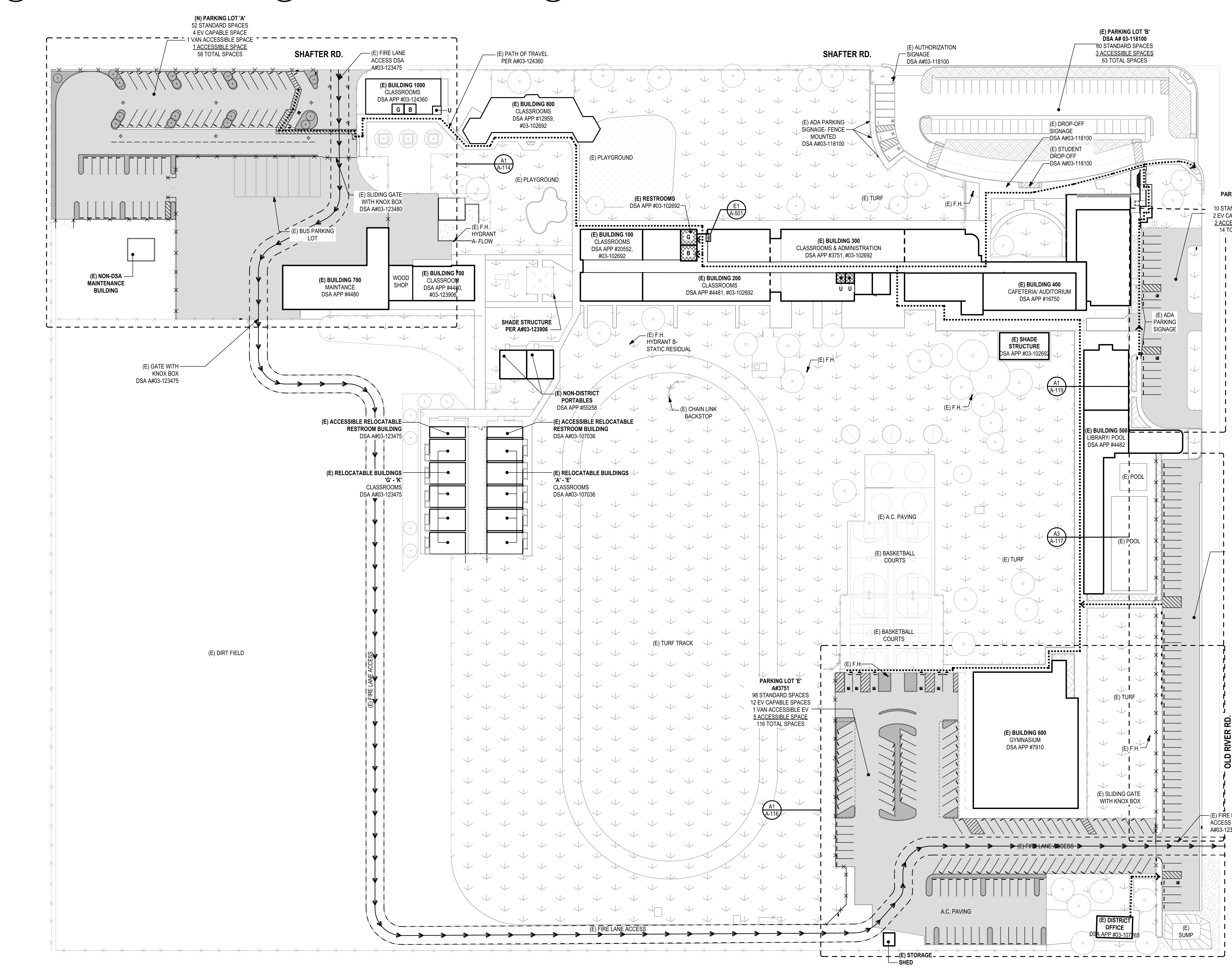
A1 SITE PLAN DEMOLITION

SCALE: 1" = 50'

DATE: 04/25/2025
PROJECT: LAKESIDE SCHOOL
SHEET: A-111



E1 (E) DOORS ALONG POT SCALE: 1/8" = 1'-0"
E2 (E) DOORS ALONG POT SCALE: 1/8" = 1'-0"
E3 (E) DOORS ALONG POT SCALE: 1" = 1'-0"



A1 SITE PLAN SCALE: 1" = 50'

SITE LEGEND	
TYPE	DESCRIPTION
[Symbol]	EXISTING TURF
[Symbol]	EXISTING AC PAVING
[Symbol]	EXISTING TRUNCATED DOMES
[Symbol]	NEW AC PAVING
[Symbol]	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR AFS) NO WORK IN THIS AREA
[Symbol]	EXISTING ACCESSIBLE RESTROOMS
[Symbol]	PATH OF TRAVEL (P.O.T.) AS INDICATED IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1' MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE. THE SURFACE SHALL BE FIRM, STABLE, AND SLIP RESISTANT. PASSING SPACES (11B-405.5.3) AT LEAST 60" X 60" SHALL BE LOCATED NOT MORE THAN 200' APART. PARTS OF P.O.T. WITH CONTINUOUS GRADIENTS SHALL HAVE 60" LEVEL AREAS AT INTERVALS OF 400' MAXIMUM (11B-403.7) SLOPE SHALL NOT EXCEED 2% CROSS-SLOPE AND 5% RUNNING SLOPE IN THE DIRECTION OF TRAVEL (11B-401.1) SLOPES GREATER THAN 5% TO A MAXIMUM OF 8.33% SHALL BE CONSIDERED AS A RAMP (11B-405). THERE SHALL BE NO DROP-OFF OVER 4" ALONG THE EDGE OF WALK OR LANDING. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS AND OBJECTS PROTRUDING GREATER THAN 4" FROM A WALL, BETWEEN 27" TO 80" ABOVE FINISHED GRADE. ARCHITECT HAS VERIFIED THAT NO BARRIERS EXIST IN THE PATH OF TRAVEL.
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE. ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL, REQUIREMENTS FOR ALTERATIONS ADDITIONS AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FIND OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.	
DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT	

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A#03-124936

CAD DRAWING FILE:
2387 ASPHALT SURFACING @ Lakeside CD27.pln

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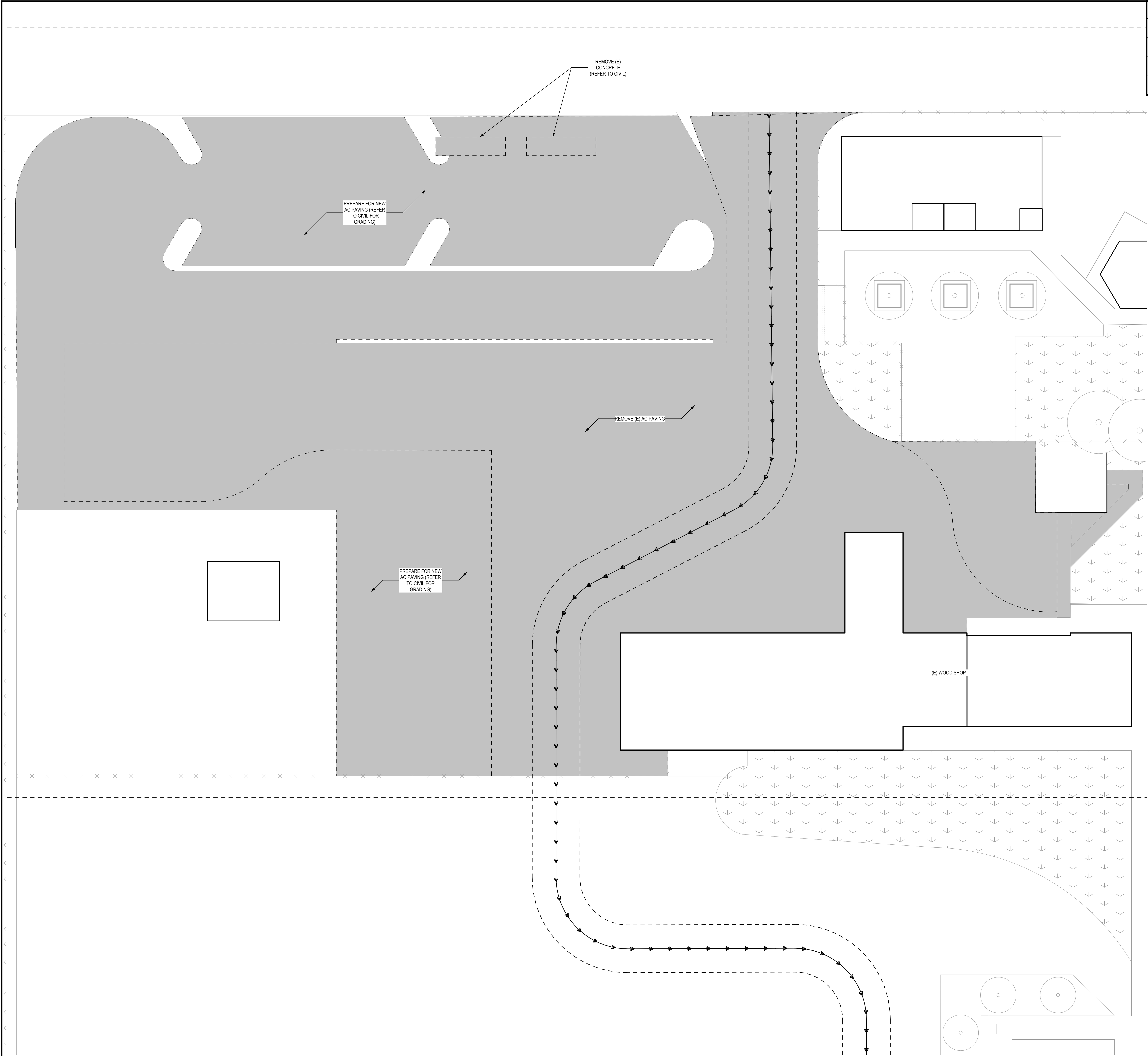
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SHEET TITLE
SITE PLAN:
ACCESSIBILITY

SHEET IDENTIFICATION NUMBER
A-112
SHEETS IN SET 20



SITE LEGEND	
TYPE	DESCRIPTION
	EXISTING TURF
	EXISTING AC PAVING
	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR AF'S) NO WORK IN THIS AREA



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AK/03-124936

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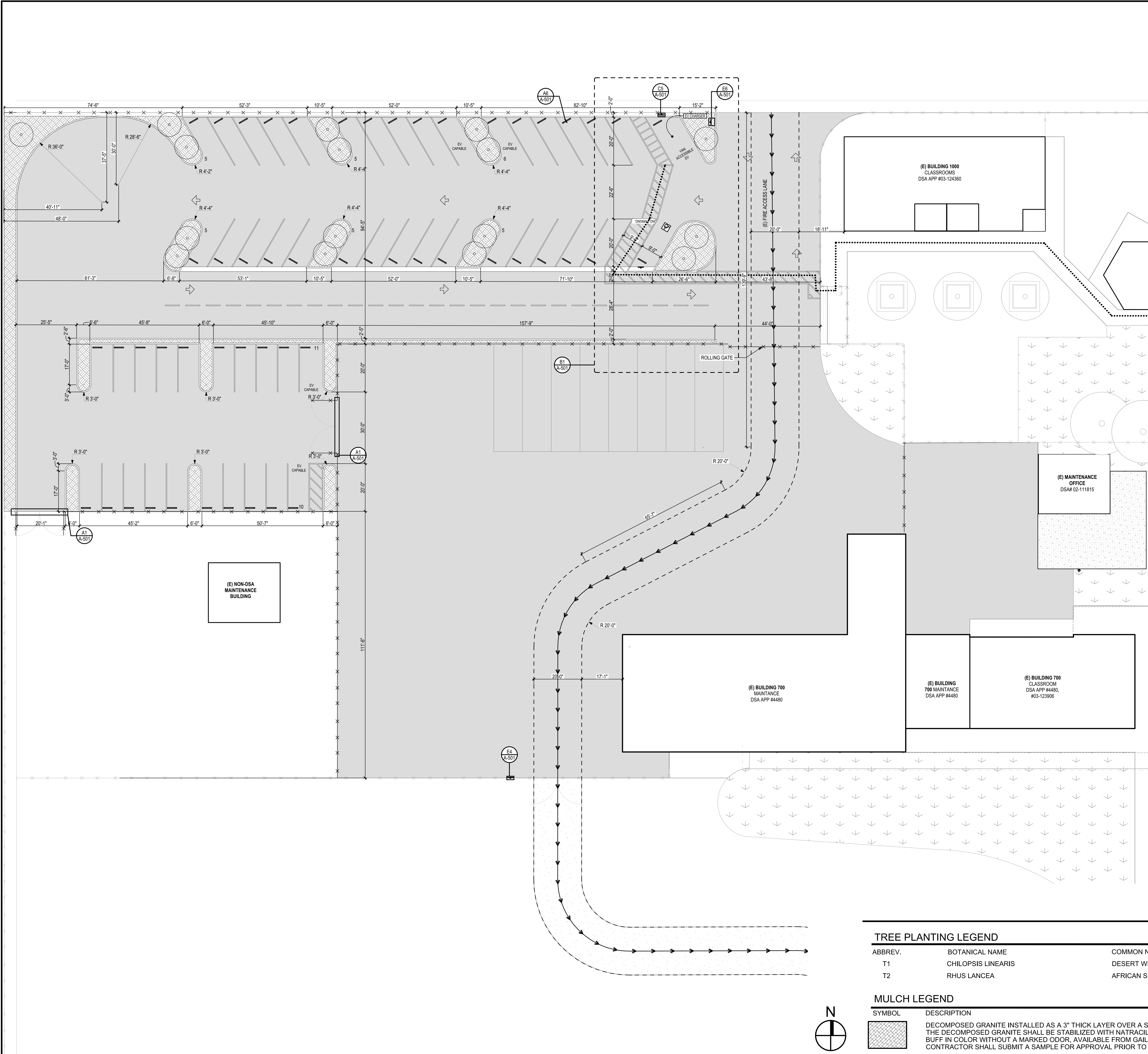
SHEET TITLE

**SITE PLAN:
ENLARGED DEMO**

SHEET IDENTIFICATION NUMBER

A-113

SHEETS IN SET 20



SITE LEGEND	
TYPE	DESCRIPTION
[Symbol]	EXISTING TURF
[Symbol]	EXISTING AC PAVING
[Symbol]	EXISTING TRUNCATED DOMES
[Symbol]	NEW AC PAVING
[Symbol]	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR AFS) NO WORK IN THIS AREA

PLANTING PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE DISTRICT'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE DISTRICT'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

AMENDMENTS, AS INDICATED IN THE SOILS REPORT SHOWN ON THE DRAWINGS, ARE BASED ON AGRICULTURAL SUITABILITY SOILS TESTS PERFORMED PRIOR TO GRADING AND WERE PRESENTED FOR BIDDING PURPOSES. IF NO SOILS REPORT EXISTS, CONTRACTOR SHALL PROPOSE ON AMENDMENTS AS STATED IN THE SPECIFICATIONS. CLIENT OR CONTRACTOR SHALL OBTAIN AGRICULTURAL SOILS TESTING AND RECOMMENDATIONS AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE DISTRICT'S AUTHORIZED REPRESENTATIVE.

IF, DURING PLANTING OPERATIONS THERE SEEMS TO BE MINIMAL OR NO PERCOLATION IN PLANTING PITS, CONTRACTOR SHALL CEASE PLANTING OPERATIONS AND IMMEDIATELY NOTIFY THE DISTRICT'S AUTHORIZED REPRESENTATIVE TO DISCUSS ALTERNATIVE TO MAINTAINING POSITIVE ROOTBALL DRAINAGE MEASURES.

CONTRACTOR TO APPLY A 3" LAYER OF MULCH, AS APPLICABLE, IN ALL SHRUB AND GROUND COVER AREAS. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.

CONTRACTOR SHALL INCORPORATE 4 CU YDS OF COMPOST PER 1000 SF TO A DEPTH OF 6" OF PERMEABLE AREA SO AS TO MAXIMIZE WATER RETENTION AND INFILTRATION. IF THE SOILS ANALYSIS INDICATES THAT THE TOP 6" OF SOIL CONTAINS GREATER THAN 8% ORGANIC MATTER, THE AREA SHALL BE EXEMPTION FROM THESE REQUIREMENTS.

CONTRACTOR SHALL THOROUGHLY MIX "AquaSmart PRO" MOISTURE RETENTION PRODUCT TO THE BACKFILL MIX IN THE PLANTING PITS OF ALL TREES, SHRUBS AND VINES.

USE THE FOLLOWING RATES-

24" BOX-	2.5 CUPS
5 GALLON-	1/3 CUP
1 GALLON-	2 TABLESPOONS

CAL GREEN CALCULATIONS	
HARDSCAPE AREA-	27,738 SF x 2 (20%)
HARDSCAPE SHADE REQUIREMENT	5,548 SF
SHRUB BED AREA	2,817 SF
CHI LIN 7x153 SF+	1071 SF
RU LAN 7x250+	1,780 SF
HARDSCAPE SHADE PROVIDED COMPLIANCE MET	5,638 SF

1 2" DIA. MIN. x 10' DOUGLAS FIR LODGE POLE STAKES, BOTH SIDES

2 CINCH TIE, ARBOR TIE, OR APPROVED EQUAL

3 A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND BALL BELOW FINISH GRADE. TREES PLANTED IN TURF AREAS SHALL NOT HAVE BASINS.

4 FINISH GRADE

5 TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH "ARBOR-GARD" OR APPROVED EQUAL AT BASE OF TRUNK.

6 BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT. THOROUGHLY MIX "AquaSmart PRO" MOISTURE RETENTION PRODUCT INTO BACKFILL MIX. REFER TO PLANTING NOTES FOR AMOUNT TO USE FOR EACH PLANT CONTAINER SIZE.

7 ROOTBALL

NOTES:

- CROWN OF ROOTBALL TO BE 1" ABOVE FINISH GRADE.
- FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

PREVAILING WINDS

17" CONTAINER

80" MIN. WHERE

2 x DIAMETER ROOTBALL

B6 TREE PLANTING

NOT TO SCALE

TREE PLANTING LEGEND					
ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE/FORM	WUCOLS	QUANTITY
T1	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX / STD.	L	3
T2	RHUS LANCEA	AFRICAN SUMAC	24" BOX / STD.	M	3

MULCH LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	DECOMPOSED GRANITE INSTALLED AS A 3" THICK LAYER OVER A SOIL SEPARATOR FABRIC. THE DECOMPOSED GRANITE SHALL BE STABILIZED WITH NATRACIL ORGANIC NON-TOXIC BINDER. BUFF IN COLOR WITHOUT A MARKED ODOR, AVAILABLE FROM GAIMATERIALS.NET OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT A SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.

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SHEET TITLE
**SITE PLAN:
ENLARGED**

SHEET IDENTIFICATION NUMBER
A-114
SHEETS IN SET 20

SITE LEGEND	
TYPE	DESCRIPTION
	EXISTING TURF
	EXISTING AC PAVING
	EXISTING TRUNCATED DOMES
	NEW AC PAVING
	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR A/F/S) NO WORK IN THIS AREA

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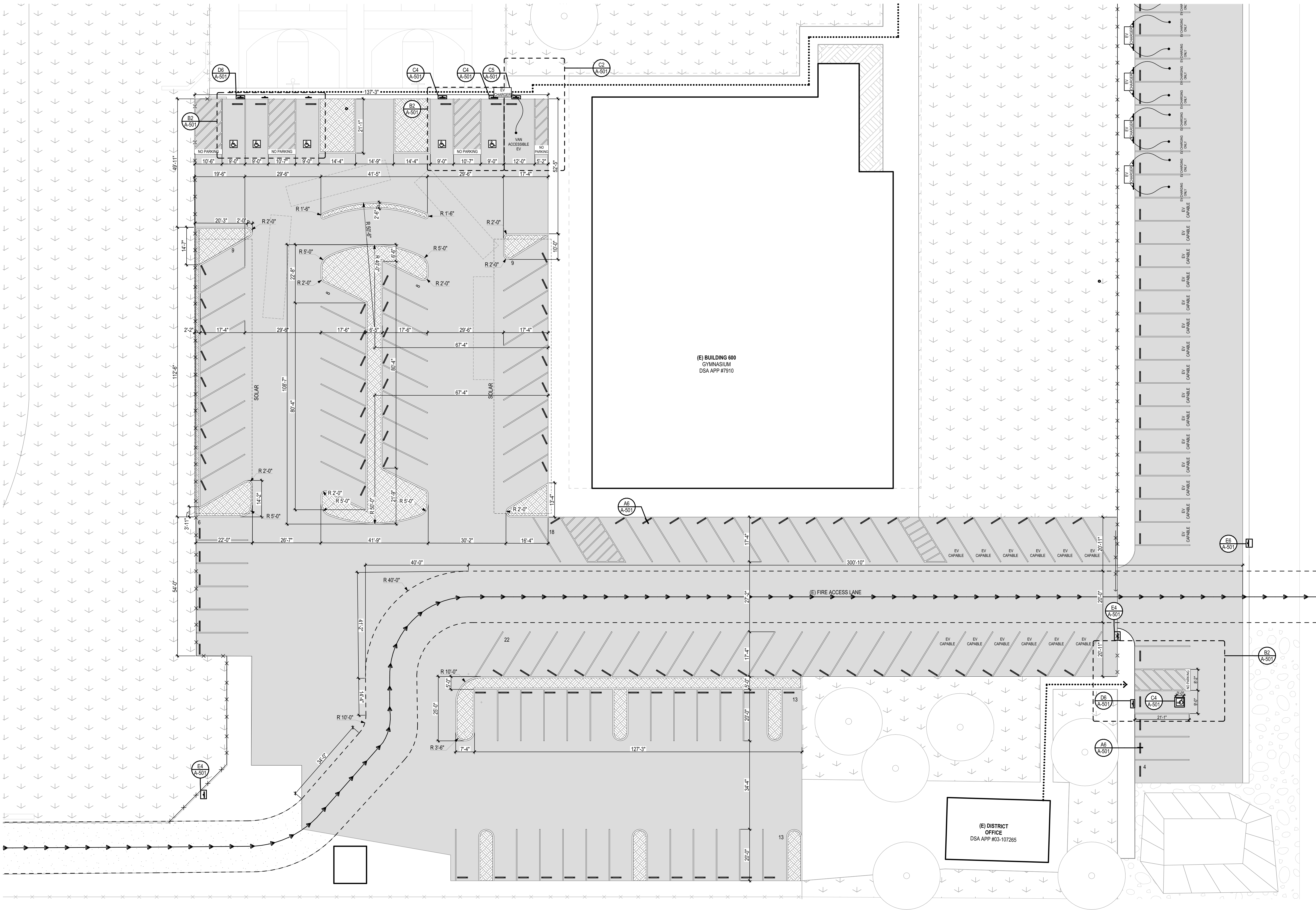
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SHEET TITLE
**SITE PLAN
ENLARGED**

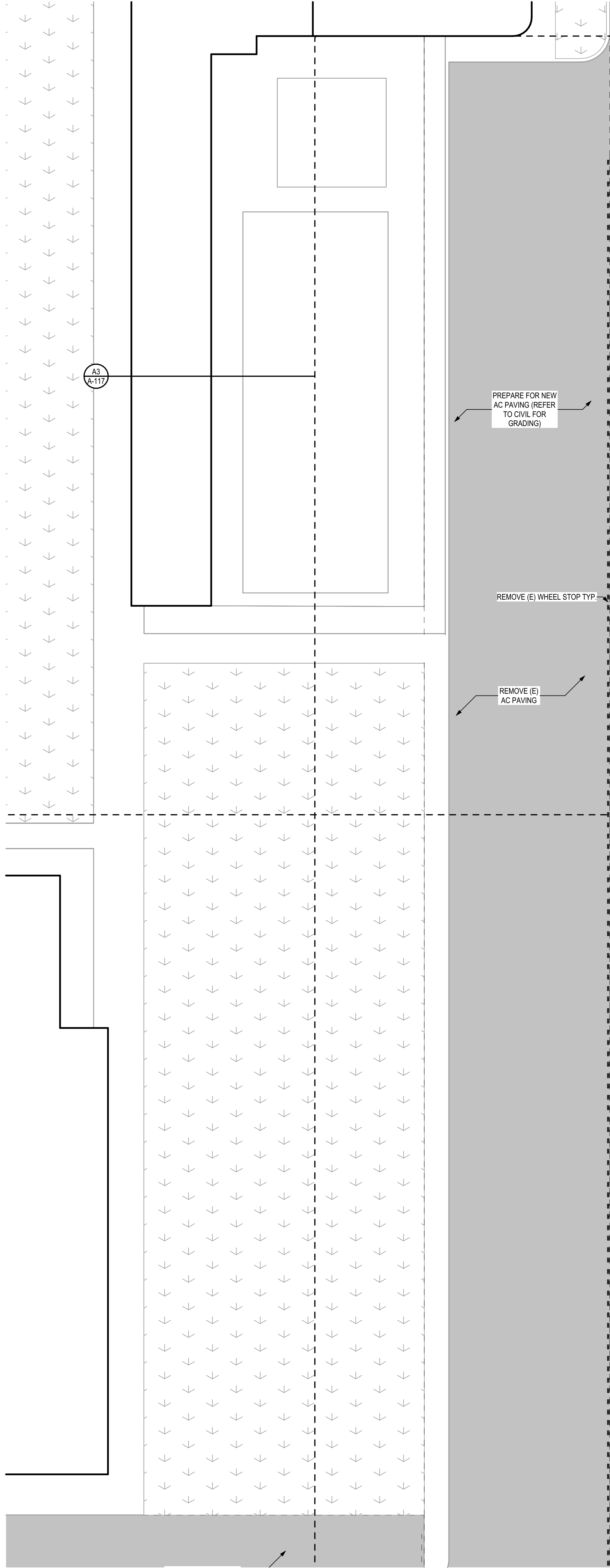
SHEET IDENTIFICATION NUMBER
A-116
SHEETS IN SET 20



A1 SITE PLAN ENLARGED
SCALE: 1/16" = 1'-0"

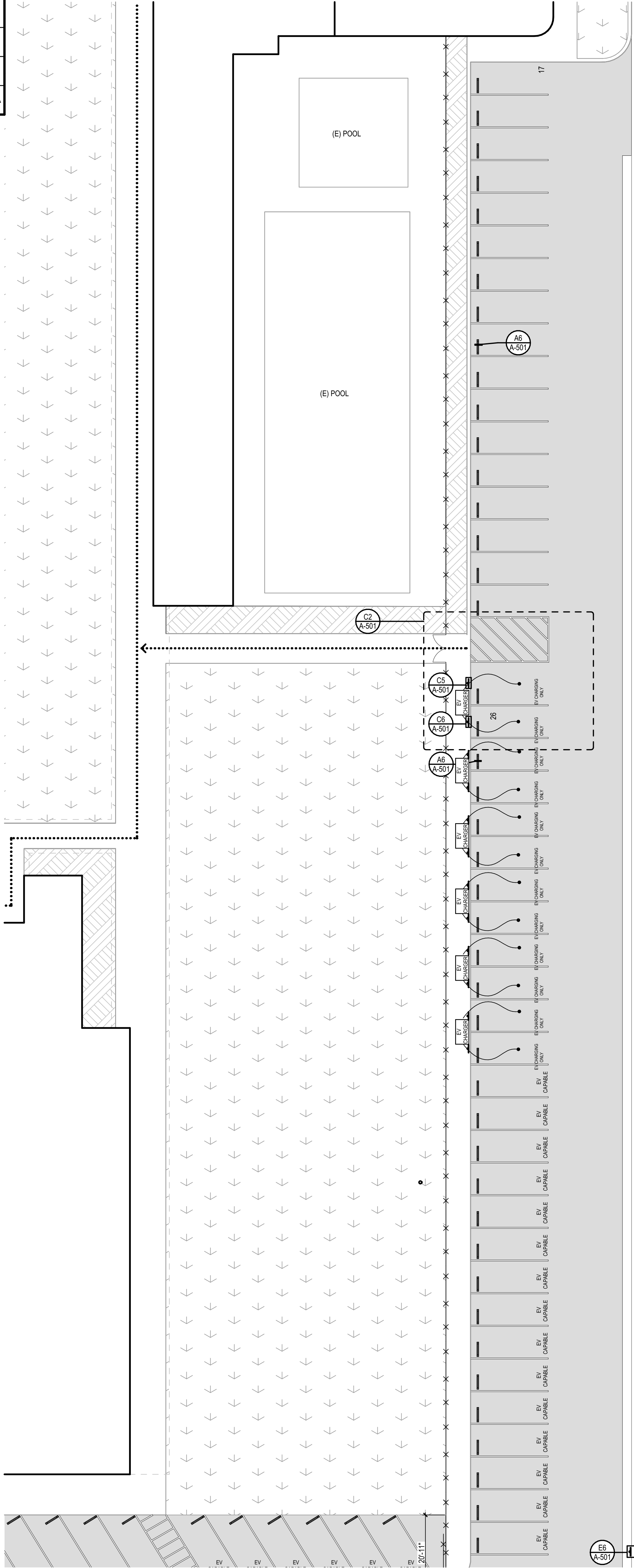
DATE: 04/02/2025
PROJECT: 2387
SHEET: 116

A1 SITE PLAN ENLARGED: DEMOLITION
SCALE: 1/16" = 1'-0"



SITE LEGEND	
TYPE	DESCRIPTION
	EXISTING TURF
	EXISTING AC PAVING
	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR A/F/S) NO WORK IN THIS AREA

A3 SITE PLAN ENLARGED
SCALE: 1/16" = 1'-0"



SITE LEGEND	
TYPE	DESCRIPTION
	EXISTING TURF
	EXISTING AC PAVING
	EXISTING TRUNCATED DOMES
	NEW AC PAVING
	EXISTING BUILDINGS (SEE BUILDING LEGEND FOR A/F/S) NO WORK IN THIS AREA

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REGISTERED ARCHITECT
JOSEPH E. ZASOSKI
C-36742
MAY 31, 2025
RENEWAL
DATE
STATE OF CALIFORNIA
MANUEL MALDONADO JR., AIA
ARCHITECT C-36294
JEANNE S. BERTOLACCINI, AIA
ARCHITECT C-35991
JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

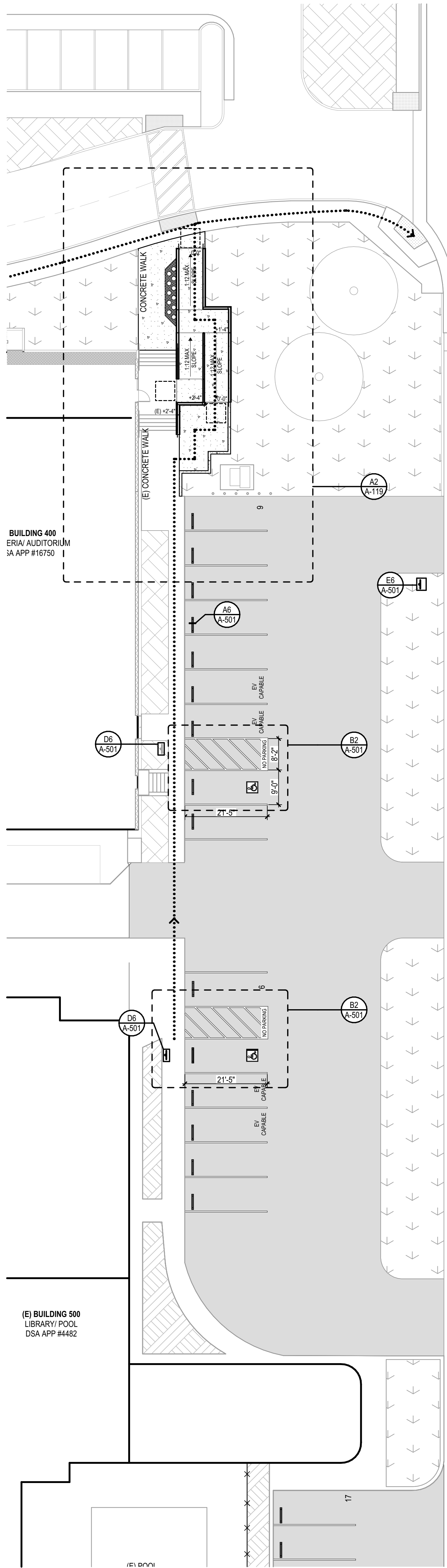
AC PAVING
AT
LAKE SIDE SCHOOL
14535 OLD RIVER RD.
BAKERSFIELD, CA 93311
FOR:
LAKE SIDE UNION
SCHOOL DISTRICT
14535 OLD RIVER RD.
BAKERSFIELD, CA 93311

MARK	DATE	DESCRIPTION

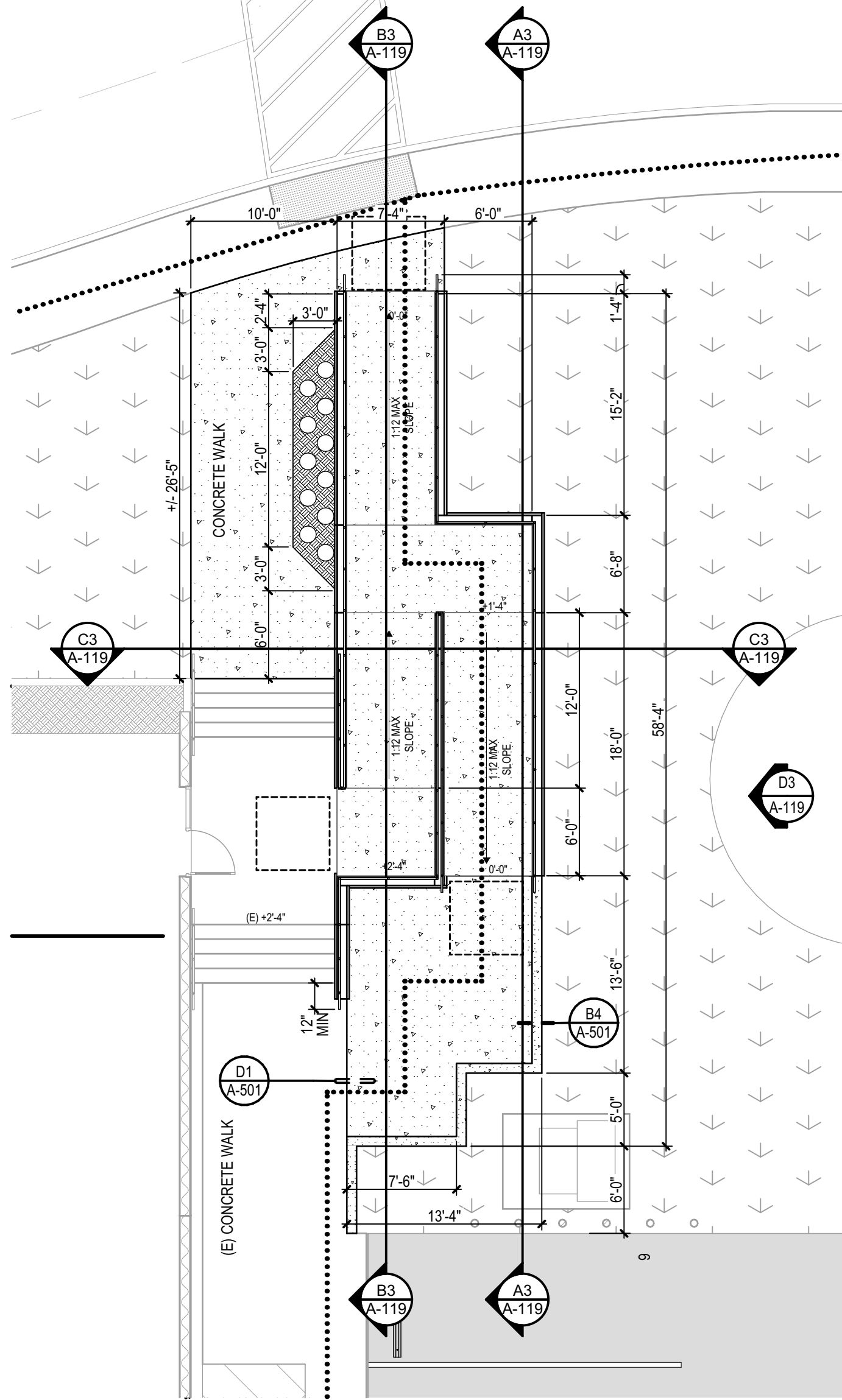
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2387
A/F:03-124936
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SHEET TITLE
**SITE PLAN:
ENLARGED DEMO**

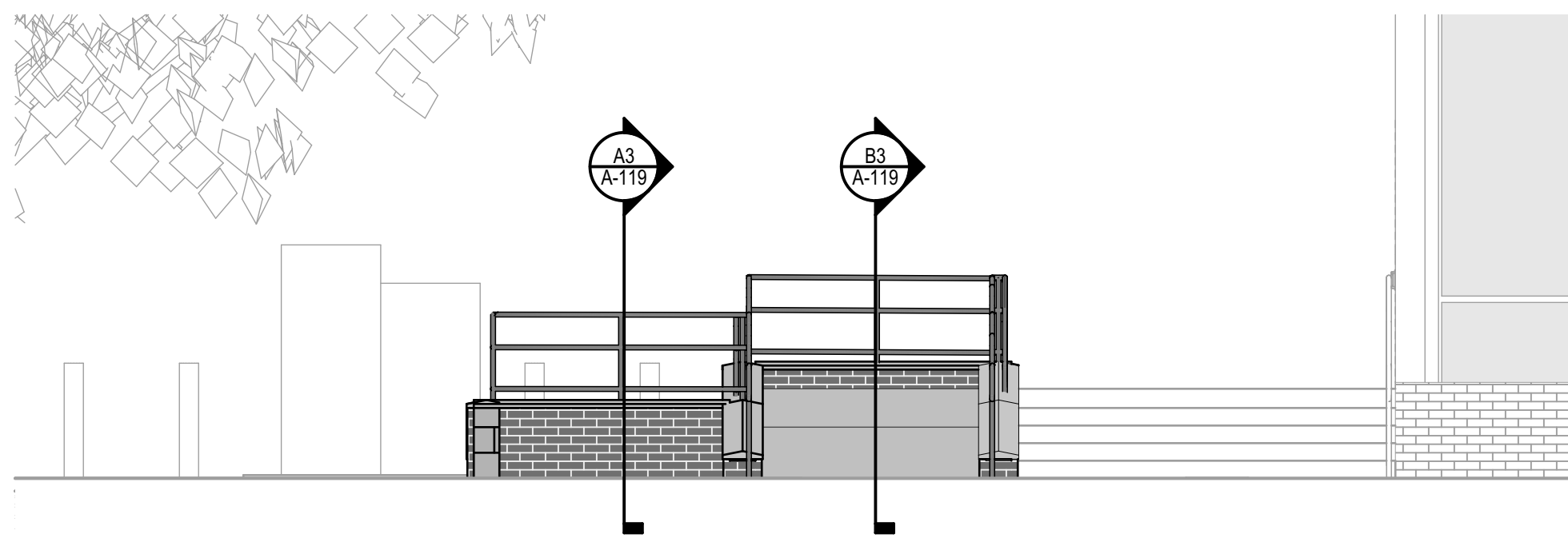
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A-117
SHEETS IN SET 20



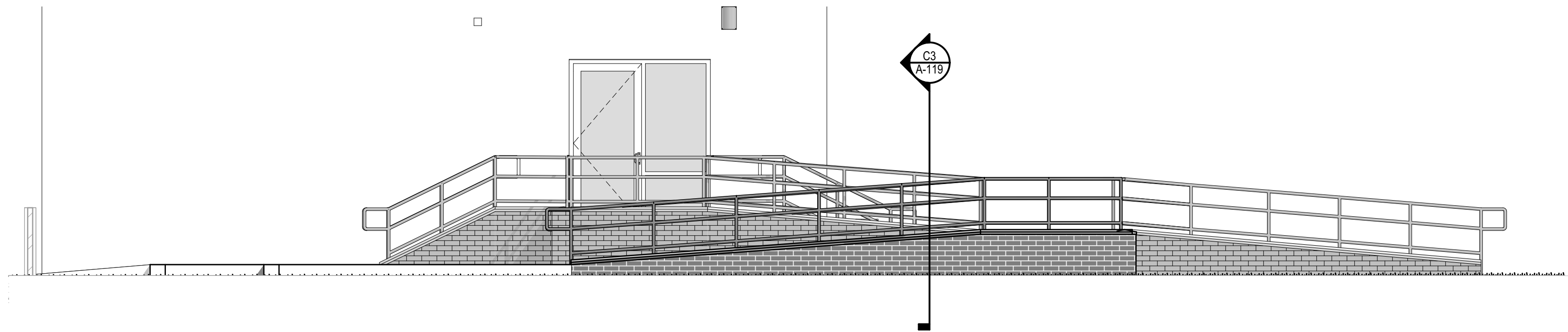
A1 SITE PLAN ENLARGED
SCALE: 1/8" = 1'-0"



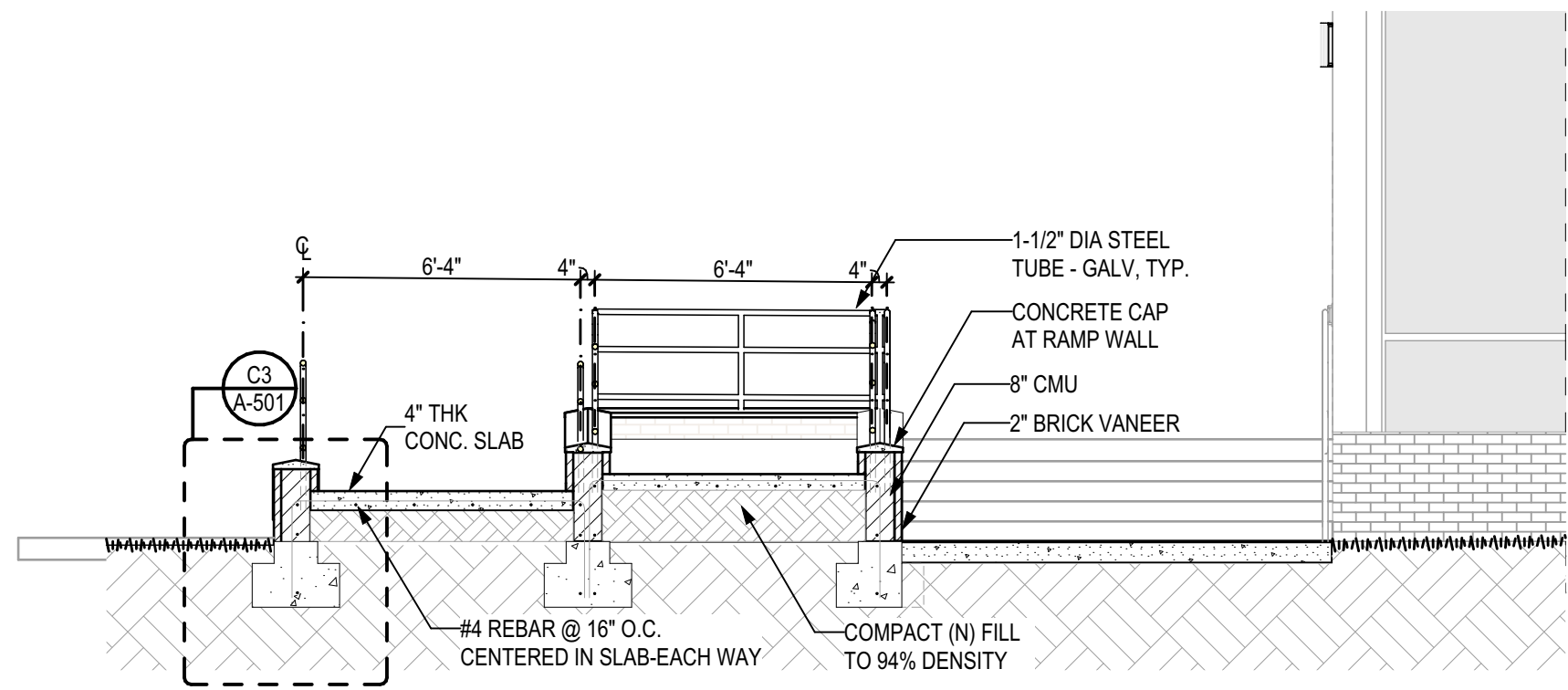
A2 PARKING STALLS ENLARGED
SCALE: 1/8" = 1'-0"



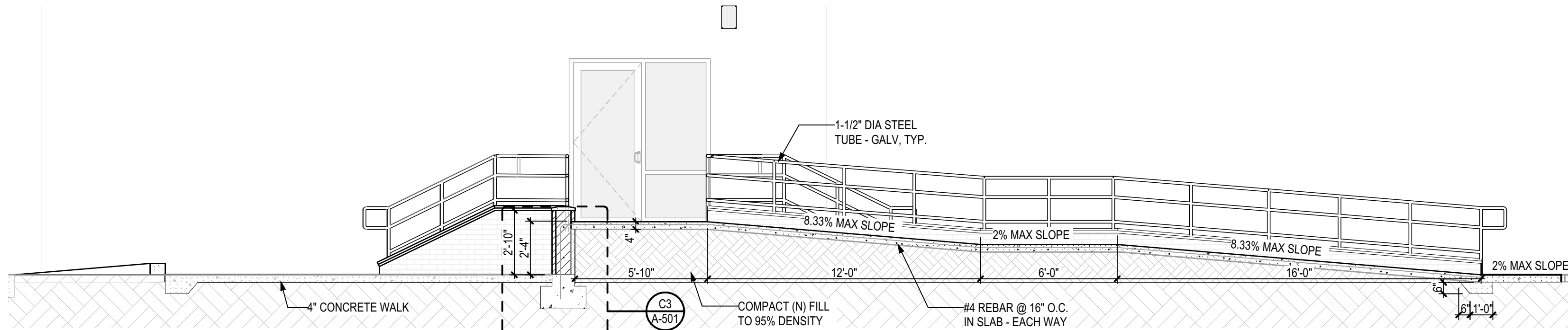
E3 NORTH NEW RAMP
SCALE: 1/4" = 1'-0"



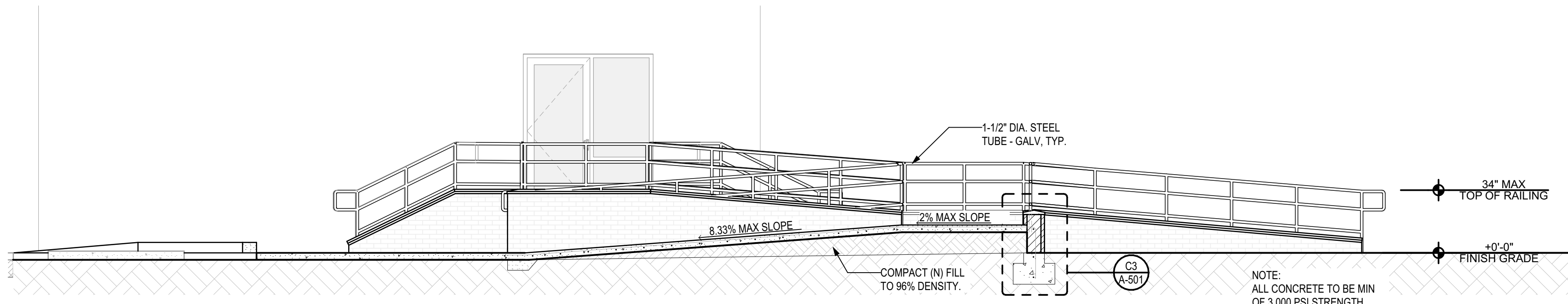
D3 EAST NEW RAMP
SCALE: 1/4" = 1'-0"



C3 SECTION
SCALE: 1/4" = 1'-0"

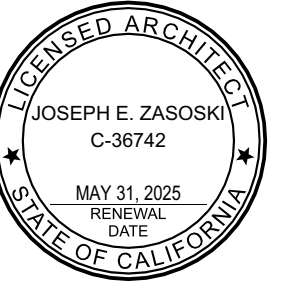


B3 SECTION
SCALE: 1/4" = 1'-0"



A3 RAMP SECTION
SCALE: 1/4" = 1'-0"

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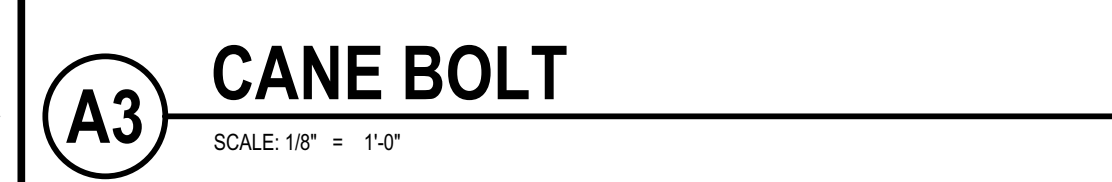
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A#03-124936
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SHEET TITLE
**SITE PLAN
ENLARGED**

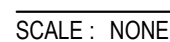
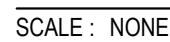
SHEET IDENTIFICATION NUMBER

A-119

SHEETS IN SET 20

[illegible]

SERVICE: 120/208V 3Φ 4W										MAIN BKR: 225A-3P										BUS: 225A										LOC.: SEE PLAN									
NEMA 3R																														MTG.: FLUSH									
REMARKS		LOAD			R E C	L T G	M I B G	P O L I C	T Y P E	C I R C	C I R C	T Y P E	P O L I C	R E C	L T G	M I B G	LOAD			REMARKS																			
		ΦA	ΦB	ΦC													ΦA	ΦB	ΦC																				
(E) PANEL "A"								1	3	100	1	(N)	2	20	1		5							PARKING LOT LTG															
"								X	X	3		(N)	4	20	1									SPARE															
"								X	X	6		(N)	8	20	1		1																						
(E) PANEL "B"								1	3	100	7	(N)	8	40	2									EV CHARGE															
"								X	X	9		(N)	10	X	X		1							"															
"								X	X	11		(N)	12	40	2									"															
SPACE								13				(N)	14	X	X		1							"															
"								15				(N)	16	40	2									SPARE															
"								17				(N)	18	X	X									"															
"								19					20																										
"								21					22																										
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"								31					32																										
"								33					34																										
"								35					36																										
"								37					38	30	3		1							(E) PANEL "PY"															
"								39					40	X	X									"															
"								42					42	X	X									"															
										MINIMUM BKR										A.T.C. RATING= 10,000 AMPS 5YM																			



1. VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
2. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
3. CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
4. ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
5. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
6. ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSSING FOR FUTURE BREAKER OR SWITCH.
7. GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
8. ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
9. THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
10. ALL CONDUCTORS SHALL BE IN CONDUIT.
11. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.

	CONDUIT EXISTING
	CONDUIT CONCEALED IN WALL OR CEILING
	CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
	CONDUIT STUBBED OUT AND CAPPED
	CONDUIT TURNED UP
	CONDUIT TURNED DOWN
	HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1". NO MARKS = 2#12
	HOME RUN: LETTER INDICATES PANEL, NUMBER(S) INDICATES CIRCUIT(S).
	SAWCUT
	GROUND CONNECTION
	DISTRIBUTION SWITCHBOARD OR PANEL
	PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH
	SIGNAL TERMINAL CABINET, SURFACE & FLUSH
	LINEAR SURFACE FIXTURE
	OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.
	SURFACE FIXTURE ON FLUSH OUTLET.
	RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
	EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
	LOW LEVEL EXIT SIGN, -6" AFF, +4" FROM DOOR JAMB
	LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
	MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
	SPECIAL RECEPTACLE - SEE PLAN
	METER
	FLUSH FLOOR RECEPTACLE
	RECEPTACLE, DUPLEX, 15A, 125V, NEMA 5-15R +18" U.O.
	DUPLEX RECEPTACLE MTD. ABOVE BACKSPLASH
	DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
	GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
	DOUBLE DUPLEX RECEPTACLE
	CEILING RECEPTACLE
	RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" U.O.
	JUNCTION BOX 4" SQUARE, 1-1/2" DEEP U.O.
	THERMOSTAT F.B.O. +48"
	MOTOR, NO. INDICATES HORSEPOWER
	CLOCK OUTLET +7-6" U.O.
	DISCONNECT SWITCH, NON-FUSED
	DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
	COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
	MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
	DIMMER W/INTEGRAL "ON-OFF" SW.
	PUSHBUTTON
	PHOTOCELL
	SMOKE DETECTOR
	TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERAGE & GROMMETED OPENING +18" U.O.
	CABLE TV OUTLET +18" U.O.
	MOTION SENSOR
	EXISTING SWITCH
	SINGLE POLE SWITCH
	DOUBLE POLE SWITCH
	THREE WAY SWITCH
	SWITCH W/PILOT LT.
	MANUAL MOTOR STARTER
	FIRE ALARM CONTROL PANEL
	GROUND FAULT CIRCUIT INTERRUPTING
	LABOR SAVING TANDEM
	MAIN LUGS ONLY
	WITH
	CONDUIT ONLY
	WEATHERPROOF
	FURNISHED BY OTHERS, INSTALL & CONNECT
	UNLESS NOTED OTHERWISE
	NATIONAL ELECTRICAL CODE
	NOT IN CONTRACT
	EXISTING
	NEW
	REMOVE
	RELOCATE
	SURFACE MOUNT
	UNDERGROUND
	COLD WATER PIPE
	ABOVE FINISHED FLOOR
	HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER
	NIGHT LIGHT

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.

JMPE
ELECTRICAL ENGINEERING
14101 NING DEE ST. BOX C
CARLSBAD REGISTRATION NO. 15083

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www.jmpe.net

25084

PROFESSIONAL ENGINEER
MALDEN
JANUARY 1, 2008
EXP. 01/30/2012
ELECTRICAL
STATE OF CALIFORNIA

MARK	DATE	DESCRIPTION

JOB NUMBER:
2387
AIR 03-124936

CAD DRAWING FILE:
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GA

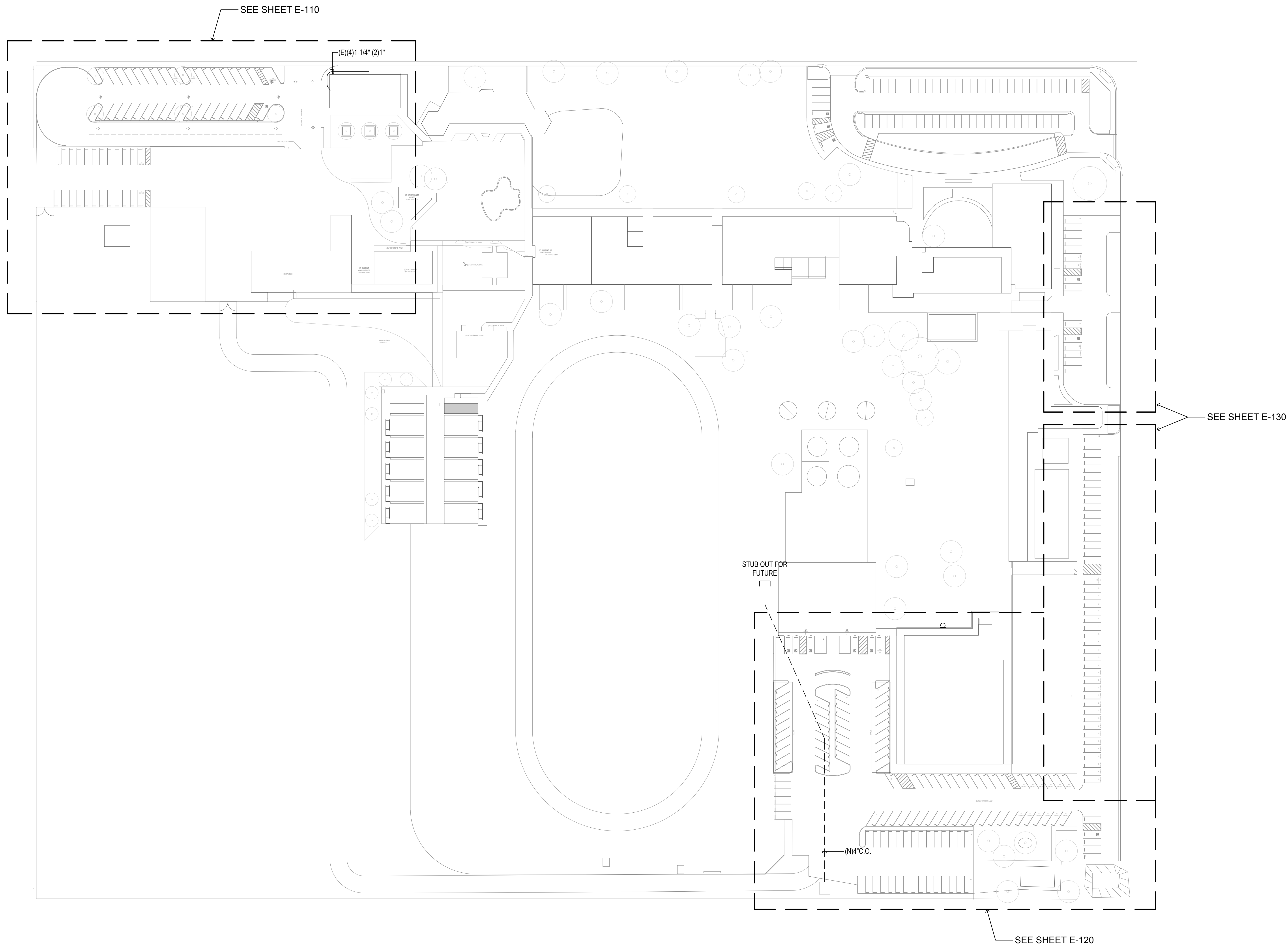
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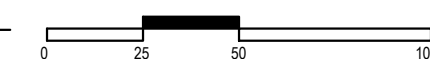
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SHEETS IN SET 20

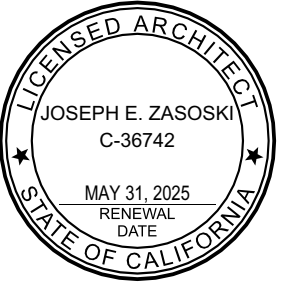


OVERALL ELECTRICAL SITE PLAN

SCALE: 1" = 50'-0"



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JOSEPH E. ZASOSKI, AIA
ARCHITECT C-36742

AC PAVING
AT
LAKE SIDE SCHOOL
14535 OLD RIVER RD
BAKERSFIELD, CA 93311

FOR:

**LAKE SIDE UNION
SCHOOL DISTRICT**
14535 OLD RIVER RD.
BAKERSFIELD, CA 93311



MARK	DATE	DESCRIPTION

JOB NUMBER:
2387
AK#03-124936
CAD DRAWING FILE:
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SHEET TITLE
**OVERALL
ELECTRICAL SITE
PLAN**

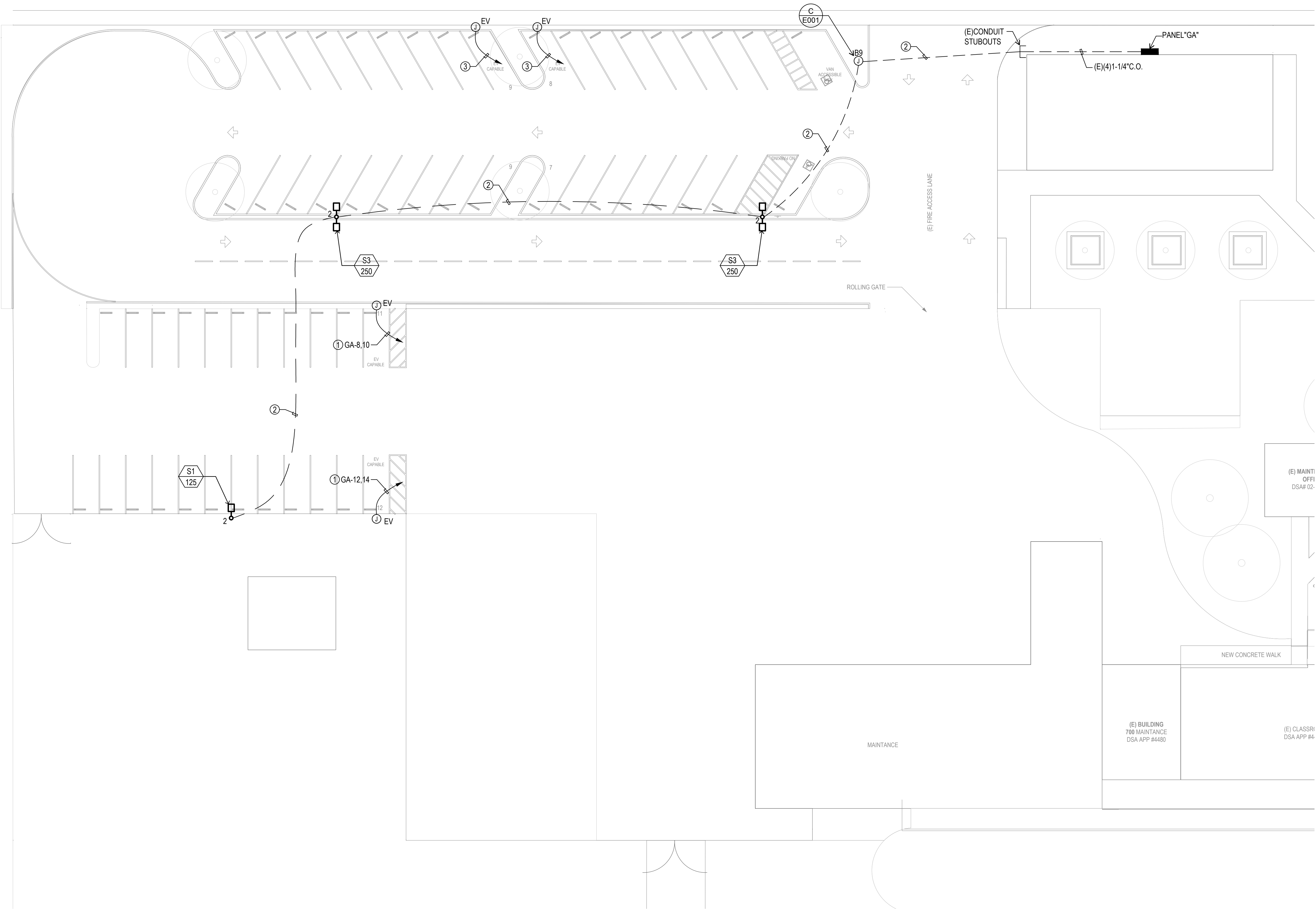
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E-100

SHEETS IN SET 20

ELECTRICAL NOTES

- ① 1-1/4" C. W/ 2#4, 1#8 GND TO PANEL "GA"
② 1" C. W/ 2#10, 1#10 GND.
③ 1-1/4" C.O.



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STATE OF CALIFORNIA
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JMPE
ELECTRICAL ENGINEERING
LIGHTING DESIGN
CALIFORNIA REGISTRATION NO. 10183
2000 KING AVENUE, SUITE 201
BAKERSFIELD, CA 93309
(805) 831-7881
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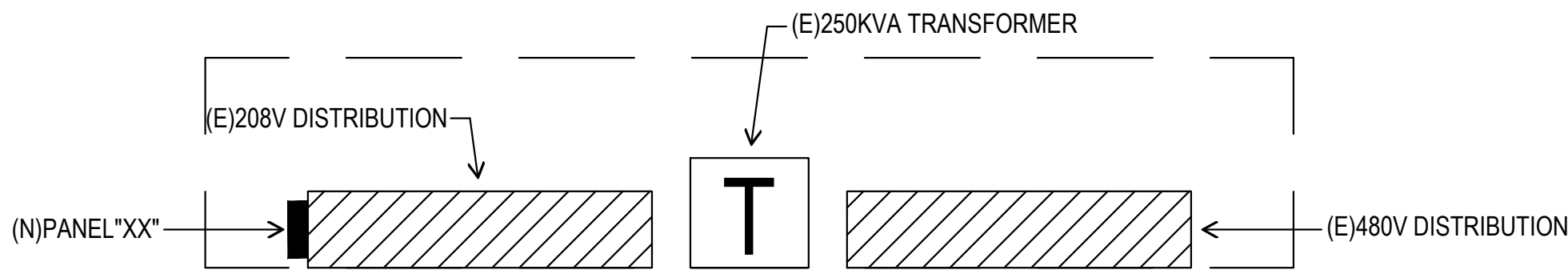
Professional Engineer
JOSEPH E. ZASOSKI
ELECTRICAL
CALIFORNIA REGISTRATION NO. 10183
EXP. 03/31/2025
STATE OF CALIFORNIA

MARK	DATE	DESCRIPTION

JOB NUMBER:
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A#03-124936
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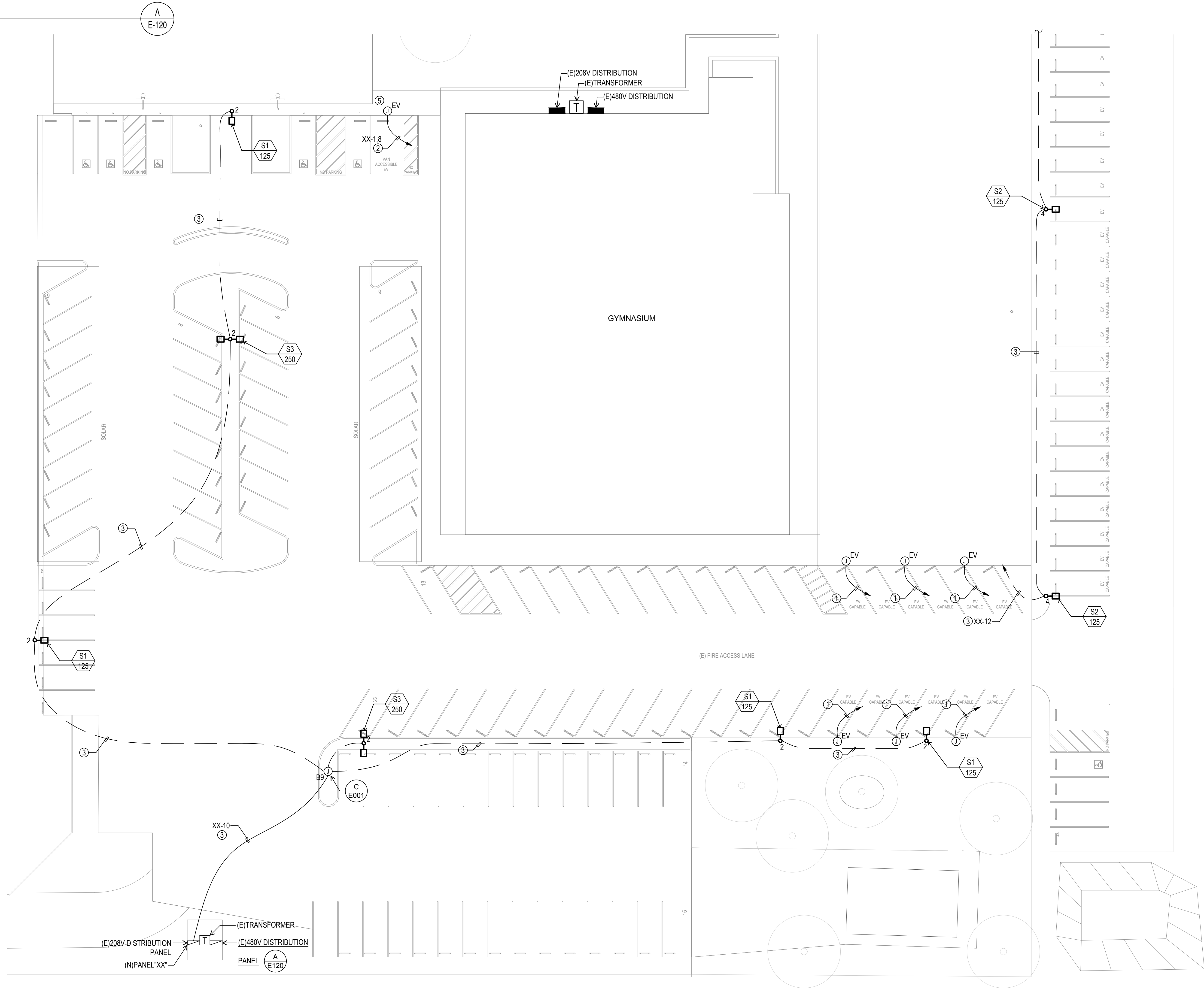
SHEET TITLE
ENLARGED SITE LIGHTING PLAN

SHEET IDENTIFICATION NUMBER
E-110
SHEETS IN SET 20



ENLARGED PLAN

SCALE: NONE



ELECTRICAL NOTES

- ① 1-1/4" C. 0 TO PANEL "XX"
- ② 1-1/2" C. W/3 #4, 1 #8 GND
- ③ 1" C. W/2#8, 1#10 GND.

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Professional Engineer
JOSEPH E. ZASOSKI
ELECTRICAL ENGINEERING
EX. 10/13/2022
STATE OF CALIFORNIA

MARK	DATE	DESCRIPTION

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2387
A# 03-124936
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SHEET TITLE
ENLARGED SITE LIGHTING PLAN

SHEET IDENTIFICATION NUMBER

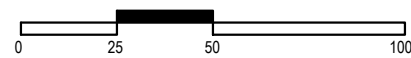
E-120

SHEETS IN SET 20



ENLARGED SITE LIGHTING PLAN

SCALE: 1/16" = 1'-0"



ELECTRICAL NOTES

- ① 1-1/4"C. O./ TO PANEL"XX"
② 1-1/4"C.W/2#4, 1#10GND.
③ 1"C.W/2#10, 1#10GND.
④ 1-1/4"C.W/2#8, 1#10GND.
⑤ CONNECT DUAL EV CHARGER

ordiz

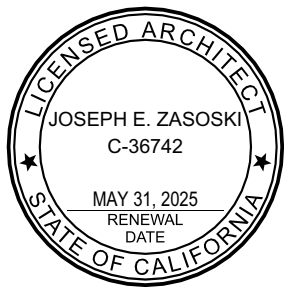
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www.jmpe.net

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MARK	DATE	DESCRIPTION

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AK#03-124936

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DRAWN BY:
AF
CA

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SHEET TITLE
ENLARGED SITE
LIGHTING PLAN

SHEET IDENTIFICATION NUMBER

E-130

SHEETS IN SET 20

