



# KERN HIGH SCHOOL DISTRICT

Business Services Department  
Richard J. Ruiz, Director

5801 Sundale Avenue  
Bakersfield, California 93309-2924  
(661) 827-3122  
FAX (661) 827-3309

## ADDENDUM NO. TWO

DATE: June 13, 2025

BID TITLE: **Bid No. 6301 – Arvin High School Modernization: Phase 1A Roofing**

BID DATE: Wednesday, June 18, 2025 at 2:00 p.m.

Notice to all contractors submitting bids for the above-referenced item:

1. Please see attached changes, additions, deletions, or corrections from the Architect.
2. Please see attached questions and responses.
3. Please note the following:  
Provide an allowance of \$50,000 for the removal and replacement of existing substrate due to rot/damage as required by IOR and District staff. This work will be performed on a T&M basis with a 10%total markup for sub and 5% for GC. Supervision shall be a portion of the base bid/contract and not charged for this work.
4. All other terms, conditions and specifications are to remain the same.

Approved:

Signed by:

*Randall Rowles*

Randall Rowles  
Director IV, Facilities

DocuSigned by:

*Kenneth R Seals*

3D6BB7BD7AF34FA...

Kenneth R. Seals, Ed.D.  
Assistant Superintendent, Business

Please sign below and **return this page with bid** to acknowledge receipt of this addendum.

Signature

Company Name

Print

Date

Title

**HMC ARCHITECTS  
3546 Concours Street  
Ontario, California 91764**

June 12, 2025

**Arvin High School Phase 1A Roofing**

Kern High School District

HMC # 3566002103

File No: 15-H3 A#03-122508/ 03-124252

**ADDENDUM NO. 05**

The following changes, additions, deletions, or corrections shall become a part of the Contract Documents for the project named above and all other conditions shall remain the same. The bidders shall be responsible for transmitting this information to all affected subcontractors and suppliers prior to the closing of bids. Acknowledge receipt of this Addendum in spaces provided on the Bid Form. Failure to acknowledge will subject Bidder to disqualification.

**DRAWINGS:**

Item No. AD-5.1:                      Reference Revised Drawings

A.                      The following revised drawings are hereby issued:

Architectural

**A4.21                      BLDG 1A/1B & 1C - ROOF PLAN - REMODEL**

- 1.) REVISE notes as shown and clouded per Delta 5.
- 2.) Bldg 1C is crossed out as shown and clouded per Delta 5.

**A4.31                      BLDG 2A & 2B - ROOF PLAN - REMODEL**

- 1.) REVISE notes as shown and clouded per Delta 5.

**A4.40                      BLDG 5B & 7B - ROOF PLAN - DEMO & REMODEL**

- 1.) ADD & REVISE notes as shown and clouded per Delta 5.

**A4.50                      BLDG 9A – UPPER ROOF PLAN - DEMO & REMODEL**

- 1.) ADD & REVISE notes as shown and clouded per Delta 5.

**A4.61                      BLDG 13,14 & 15 – ROOF PLAN - REMODEL**

- 1.) ADD & REVISE notes as shown and clouded per Delta 5.

**A4.70                      BLDG 8A – ROOF PLAN – DEMO & REMODEL**

- 1.) REVISE notes as shown and clouded per Delta 5.

Plumbing

**P1.11                      PLUMBING SITE PLAN**

- 1.) ADD Plan notes 3, 4 and 5 as shown and clouded per Delta 5.

- 2.) ADD General notes as shown and clouded per Delta 5.
- 3.) ADD Plan notes to buildings 1A, 1B, 2A, 2B, 5B, 7B and 8A as shown and clouded per Delta 5.

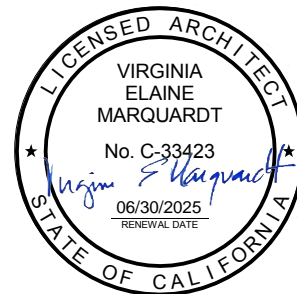
Electrical

**E1.11 ELECTRICAL SITE PLAN**

- 1.) ADD Keynotes 1, 2, 3, 4, 5 as shown and clouded per Delta 5.
- 2.) Buildings 1A, 1B, 2A, 2B, 5B, 7B, and 8A show existing mechanical equipment and electrical transformer that will need to be disconnected, removed, and reconnected in-place. All notes added to plans as needed.

**HMC ARCHITECTS**

By Virginia E. Marquardt  
(Signature of Architect of Record or Alternate)



**ARVIN HIGH SCHOOL DISTRICT**  
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EST. 1993

**HMC Architects**  
3566-002-103  
3546 CONCOURS STREET  
ONTARIO, CA 91764  
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**ISSUE**

Δ	DESCRIPTION	DATE
5	ADDENDUM 05	06/11/2025

**KEYNOTES**

- 02.02 (E) HVAC UNIT AND CURB TO REMAIN, PROTECT IN PLACE, REPLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 1/A10.41 AND 3/A10.41
- 02.07 (E) METAL DECK ROOF TO REMAIN, PROTECT IN PLACE
- 02.34 (E) CRICKETS TO REMAIN, PROTECT IN PLACE
- 07.11 ROOF WALKWAY PADS, REFER TO SPEC. SECTION 07 54 19.30
- 07.41 ROOF GRAPHIC MEMBRANE
- 07.44 SCHEDULE 40 DOWNSPOUT, REFER TO DETAIL 24 & 25/A10.41.
- 07.46 20 GA. PRE FINISHED GALV. GUTTER, REFER TO DETAIL 13/A10.40
- 22.09 ROOF DRAIN W/ OVERFLOW DRAIN, REFER TO SPEC SECTION 22 14.23.

**LEGEND - ENLARGED ROOF PLANS**

- EXISTING ROOFING MATERIAL TO BE REMOVED. EXISTING SHEATHING TO REMAIN. SHEATHING TO BE INSPECTED FOR DRY ROT, TERMITES, AND MOISTURE DAMAGE. NOTIFY ARCHITECT IF DAMAGE IS FOUND. EXTENTS AND ANY REPAIR OF ROOF SHEATHING SHALL BE PERFORMED BY A CONSTRUCTION CHANGE DOCUMENT (CCD), APPROVED BY DSA. PREP ROOF SHEATHING FOR NEW PVC ROOF MEMBRANE ASSEMBLY.
- EXISTING CANOPY TO BE REMOVED
- NEW SINGLE PLY PVC ROOFING CLASS-A, SEE DETAIL 1, 2 OR 3 ON SHEET A10.40 FOR ROOF ASSEMBLY
- EXISTING BUILT-UP ROOFING TO REMAIN
- ROOF WALKWAY PADS

**KEY PLAN:**

**FACILITY:**  
Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

**PROJECT:**  
KHSD Arvin High School ESSER III Phase 1 Roofing Project

**SHEET NAME:**  
BLDG 1A/1B & 1C - ROOF PLAN - REMODEL

**DSA SUBMITTAL**

**FILE NO.:** 15-H3 **A NO.:** 03-123508

**DATE:** 2023.07.25 **CLIENT PROJ NO.:** 3566002103

**SHEET:**













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ISSUE

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5 ADDENDUM 05

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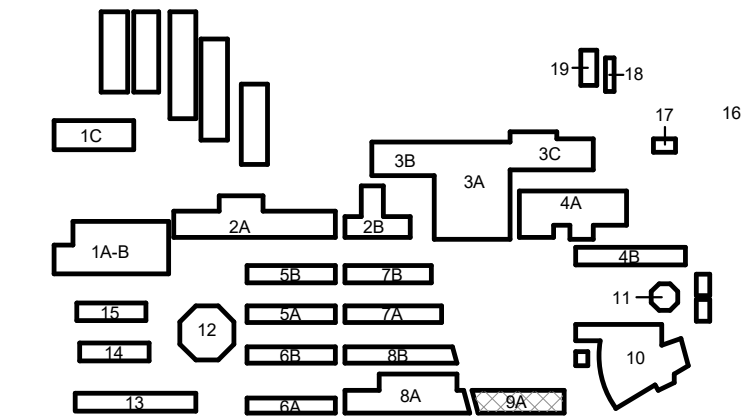
KEYNOTES

- 02.02 (E) HVAC UNIT AND CURB TO REMAIN, PROTECT IN PLACE. REPLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 16/A10.41 AND 18/A10.41
- 02.32 (E) ROOF HATCH TO REMAIN, PROTECT IN PLACE. PROTECT ALL EXISTING UTILITIES DURING ROOF DEMOLITION AND RE-ROOFING. CONTRACTOR TO WALK THE JOB PRIOR TO BID.
- 02.42 ROOF WALKWAY PADS, REFER TO SPEC. SECTION 07 54
- 07.11 ROOF GRAPHIC MEMBRANE

LEGEND - ENLARGED ROOF PLANS

- EXISTING BUILT-UP ROOFING MATERIAL TO BE REMOVED. EXISTING SHEATHING TO REMAIN. SHEATHING TO BE INSPECTED FOR DRY ROT, TERMITE, AND MOISTURE DAMAGE. NOTIFY ARCHITECT IF DAMAGE IS FOUND. EXTENTS AND ANY REPAIR OF ROOF SHEATHING SHALL BE PERFORMED BY A CONSTRUCTION CHANGE DOCUMENT (CCD), APPROVED BY DSA. PREP ROOF SHEATHING FOR NEW PVC ROOF MEMBRANE ASSEMBLY.
- EXISTING CANOPY TO BE REMOVED. SEE A3.10 FOR START AND ENDING LOCATIONS OF REMOVAL.
- NEW SINGLE PLY PVC ROOFING CLASS-A, SEE DETAIL 1, 2 OR 3 ON SHEET A10.40 FOR ROOF ASSEMBLY
- EXISTING BUILT-UP ROOFING TO REMAIN
- ROOF WALKWAY PADS
- NEW BUILT UP ROOFING TO PATCH REPAIR NEW FRAMING
- (N) OVERHANG EXTENSION

KEY PLAN:



FACILITY:

Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

PROJECT:

KHSD Arvin High School ESSER III Phase 1 Roofing Project

SHEET NAME:

BLDG 9A - UPPER ROOF PLAN - DEMO & REMODEL

DSA SUBMITTAL

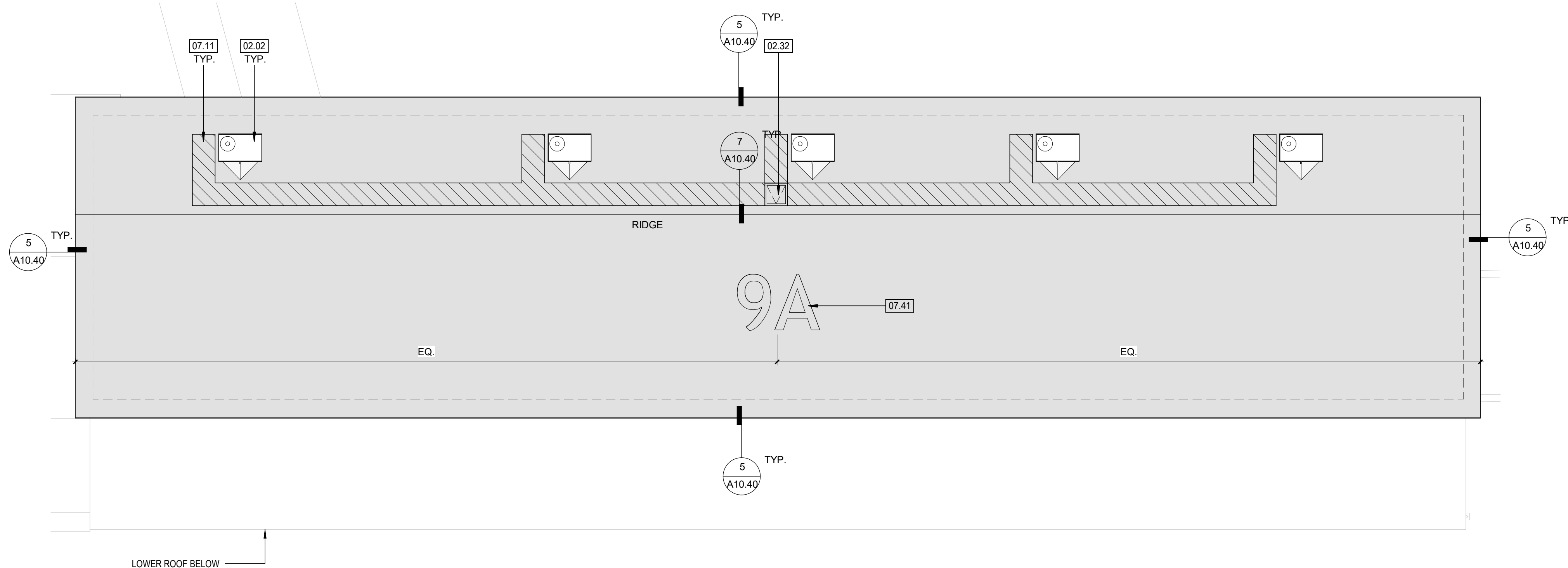
FILE NO.: 15-H3

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CLIENT PROJ NO: 3566002103

SHEET:



BLDG 9A - UPPER ROOF PLAN - REMODEL

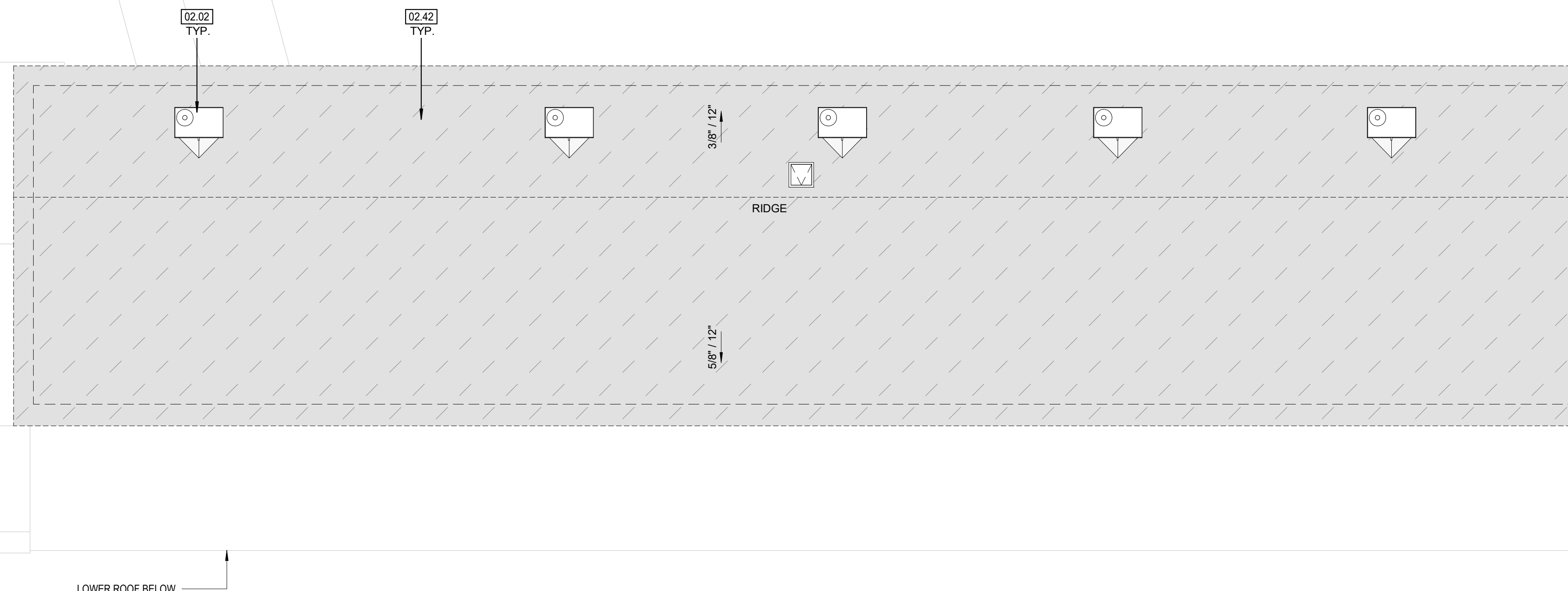
2

3/32" = 1'-0"

NOTE:  
ROOFING FOR BLDG 9A WAS COMPLETED UNDER A PREVIOUS PROJECT. ROOF NUMBERING SHALL BE INCLUDED IN THE BID.

NOTES - ROOF PLANS

- ALL ROOFING MATERIAL INCLUDING MEMBRANE, FLASHING, EDGES, GUTTERS, MECHANICAL EQUIPMENT CURBS/ PLATFORMS FLASHING, EXHAUST FANS, SKYLIGHTS AND PIPE / CONDUIT PENETRATIONS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS. SEE SHEET A10.40 & A10.41 TYPICAL ROOFING DETAILS.
- REFER TO MECHANICAL, PLUMBING & ELECTRICAL FOR ADDITIONAL SCOPE NOT SHOWN.
- NO WORK, INCLUDING DEMOLITION, SHALL BEGIN UNTIL PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY DSA.
- (E) UTILITIES ON THE ROOF TO BE PROTECTED DURING DEMOLITION AND INSTALLATION OF ROOFING MEMBRANE. CONTRACTOR TO WALK THE JOB PRIOR TO BID.
- THE CONTRACTOR SHALL SITE VERIFY A MINIMUM **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE FOR HVAC UNITS, EXHAUST FANS, VENTS, PIPE PENETRATIONS, SKYLIGHT, ROOF HATCH, ETC., FOLLOWING THE INSTALLATION OF THE NEW RIGID INSULATION.
- THE CONTRACTOR SHALL ENSURE A MINIMUM **4-INCH** FROM TOP OF ROOFING MEMBRANE FLASHING CONDITION IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S REQUIREMENTS.
- THE CONTRACTOR SHALL EXTEND ALL VENT PIPES, CONDUITS, ETC. TO COMPLY WITH THE FLASHING REQUIREMENTS.
- WHERE EXISTING CONDITIONS DO NOT MEET THE **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT, THE CONTRACTOR SHALL FOLLOW THE DETAILS BELOW:  
RAISED PLATFORM: 13/S1.01 & 14/S1.01 (CCD 003B)  
EXHAUST FANS: 19/A10.40 & 17/A10.41, EXTEND THE EXISTING CURB  
VENTS & PIPE PENETRATIONS: 16/A10.40 & 17/A10.40, EXTEND EXISTING PIPE & CONDUIT  
SKYLIGHT: 18/A10.41, EXTEND CURB AND SKYLIGHT TUB
- ADJUST EXISTING ROOF LADDER TO MEET **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT, CUT AND GRIND THE EDGE TO MAINTAIN A SMOOTH FINISH.
- WHERE A ROOF HATCH IS LOCATED, THE CONTRACTOR SHALL VERIFY WITH THE DISTRICT WHETHER IT IS STILL OPERABLE OR HAS BEEN ABANDONED. IF ABANDONED, THE CONTRACTOR SHALL DEMO, REFRAME, AND ROOF OVER THE EXISTING OPENING.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT/ ARCHITECT OF THEIR FINDINGS PRIOR TO STARTING WORK.



BLDG 9A - UPPER ROOF PLAN - DEMO

1

3/32" = 1'-0"

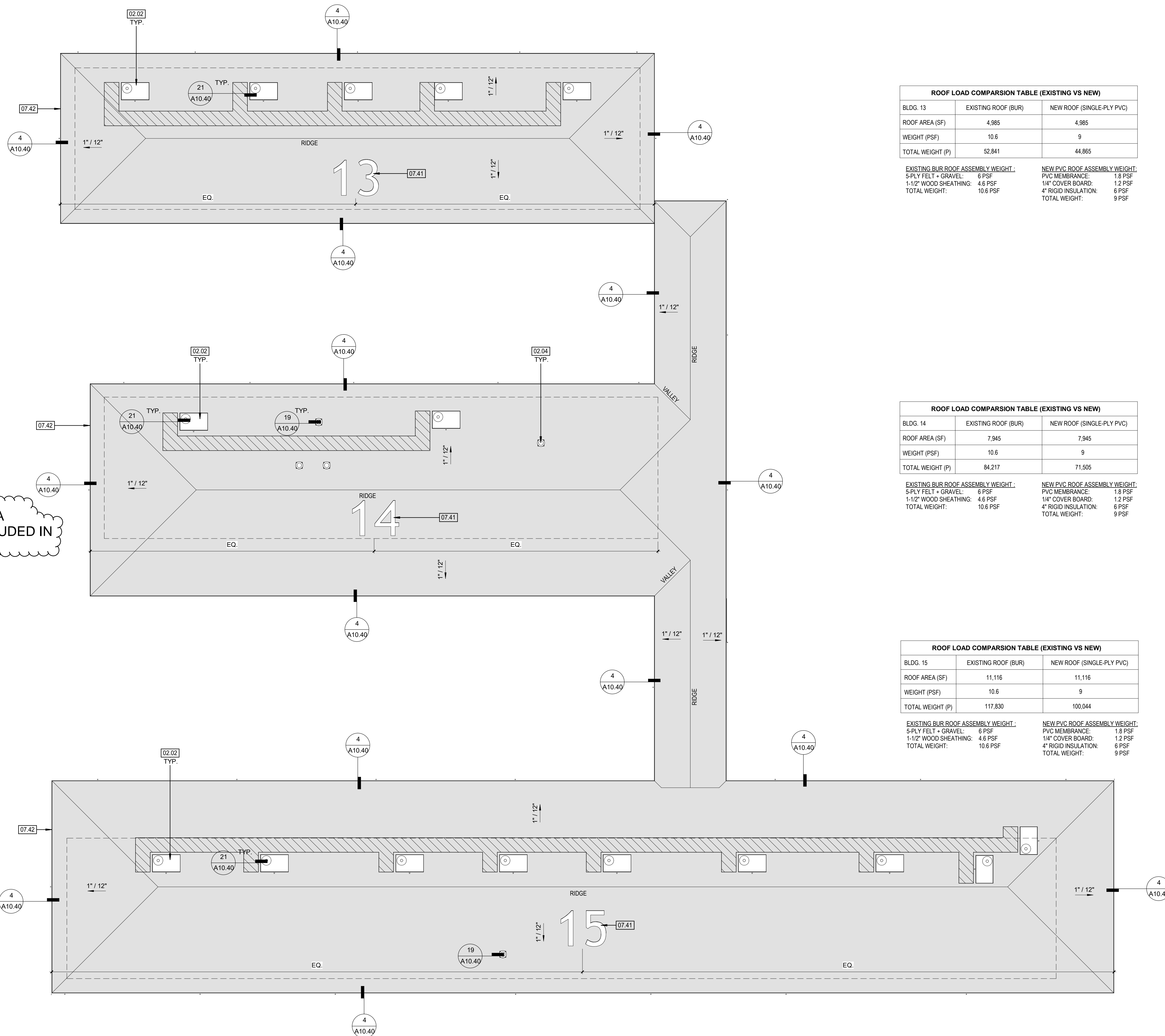


5

NOTE:  
ROOFING FOR BLDG 13,14,15 WAS COMPLETED UNDER A  
PREVIOUS PROJECT. ROOF NUMBERING SHALL BE INCLUDED IN  
THE BID.

#### NOTES - ROOF PLANS

- ALL ROOFING MATERIAL INCLUDING MEMBRANE, FLASHING, EDGES, GUTTERS, MECHANICAL EQUIPMENT CURBS/ PLATFORMS FLASHING, EXHAUST FANS, SKYLIGHTS AND PIPE / CONDUIT PENETRATIONS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS. SEE SHEET A10.40 & A10.41 TYPICAL ROOFING DETAILS.
- REFER TO MECHANICAL, PLUMBING & ELECTRICAL FOR ADDITIONAL SCOPE NOT SHOWN.
- NO WORK, INCLUDING DEMOLITION, SHALL BEGIN UNTIL PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY DSA.
- (E) UTILITIES ON THE ROOF TO BE PROTECTED DURING DEMOLITION AND INSTALLATION OF ROOFING MEMBRANE. CONTRACTOR TO WALK THE JOB PRIOR TO BID.
- THE CONTRACTOR SHALL SITE VERIFY A MINIMUM **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE FOR HVAC UNITS, EXHAUST FANS, VENTS, PIPE PENETRATIONS, SKYLIGHT, ROOF HATCH, ETC., FOLLOWING THE INSTALLATION OF THE NEW RIGID INSULATION.
- THE CONTRACTOR SHALL ENSURE A MINIMUM **4-INCH** FROM TOP OF ROOFING MEMBRANE FLASHING CONDITION IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S REQUIREMENTS.
- THE CONTRACTOR SHALL EXTEND ALL VENT PIPES, CONDUITS, ETC. TO COMPLY WITH THE FLASHING REQUIREMENTS.
- WHERE EXISTING CONDITIONS DO NOT MEET THE **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT, THE CONTRACTOR SHALL FOLLOW THE DETAILS BELOW:  
RAISED PLATFORM: 13/A10.42 & 18/A10.42 (CCD 003B)  
EXHAUST FANS: 13/S1.01 & 14/S1.01 (CCD 001A)  
EXHAUST FANS: 19/A10.40 & 17/A10.41, EXTEND THE EXISTING CURB  
VENTS & PIPE PENETRATIONS: 16/A10.40 & 17/A10.40, EXTEND EXISTING PIPE & CONDUIT  
SKYLIGHT: 18/A10.41, EXTEND CURB AND SKYLIGHT TUB
- ADJUST EXISTING ROOF LADDER TO MEET **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT; CUT AND GRIND THE EDGE TO MAINTAIN A SMOOTH FINISH.
- WHERE A ROOF HATCH IS LOCATED, THE CONTRACTOR SHALL VERIFY WITH THE DISTRICT WHETHER IT IS STILL OPERABLE OR HAS BEEN ABANDONED. IF ABANDONED, THE CONTRACTOR SHALL DEMO, REFRAME, AND ROOF OVER THE EXISTING OPENING.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT/ ARCHITECT OF THEIR FINDINGS PRIOR TO STARTING WORK.



ROOF LOAD COMPARISON TABLE (EXISTING VS NEW)		
BLDG. 13	EXISTING ROOF (BUR)	NEW ROOF (SINGLE-PLY PVC)
ROOF AREA (SF)	4,965	4,965
WEIGHT (PSF)	10.6	9
TOTAL WEIGHT (P)	52,841	44,865

EXISTING BUR ROOF ASSEMBLY WEIGHT:	NEW PVC ROOF ASSEMBLY WEIGHT:
5-PLY FELT + GRAVEL: 6 PSF	PVC MEMBRANCE: 1.8 PSF
1-1/2\" WOOD SHEATHING: 4.6 PSF	1/4\" COVER BOARD: 1.2 PSF
TOTAL WEIGHT: 10.6 PSF	4\" RIGID INSULATION: 6 PSF
	TOTAL WEIGHT: 9 PSF

ROOF LOAD COMPARISON TABLE (EXISTING VS NEW)		
BLDG. 14	EXISTING ROOF (BUR)	NEW ROOF (SINGLE-PLY PVC)
ROOF AREA (SF)	7,945	7,945
WEIGHT (PSF)	10.6	9
TOTAL WEIGHT (P)	84,217	71,505

EXISTING BUR ROOF ASSEMBLY WEIGHT:	NEW PVC ROOF ASSEMBLY WEIGHT:
5-PLY FELT + GRAVEL: 6 PSF	PVC MEMBRANCE: 1.8 PSF
1-1/2\" WOOD SHEATHING: 4.6 PSF	1/4\" COVER BOARD: 1.2 PSF
TOTAL WEIGHT: 10.6 PSF	4\" RIGID INSULATION: 6 PSF
	TOTAL WEIGHT: 9 PSF

ROOF LOAD COMPARISON TABLE (EXISTING VS NEW)		
BLDG. 15	EXISTING ROOF (BUR)	NEW ROOF (SINGLE-PLY PVC)
ROOF AREA (SF)	11,116	11,116
WEIGHT (PSF)	10.6	9
TOTAL WEIGHT (P)	117,830	100,044

EXISTING BUR ROOF ASSEMBLY WEIGHT:	NEW PVC ROOF ASSEMBLY WEIGHT:
5-PLY FELT + GRAVEL: 6 PSF	PVC MEMBRANCE: 1.8 PSF
1-1/2\" WOOD SHEATHING: 4.6 PSF	1/4\" COVER BOARD: 1.2 PSF
TOTAL WEIGHT: 10.6 PSF	4\" RIGID INSULATION: 6 PSF
	TOTAL WEIGHT: 9 PSF



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#### ISSUE

DESCRIPTION	DATE
5 APPENDUM 05	06/11/2025

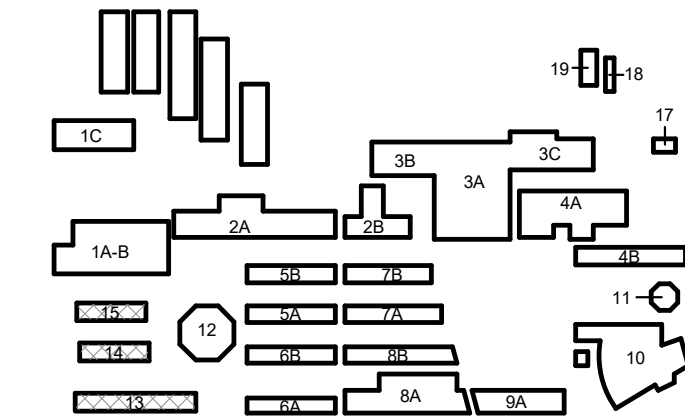
#### KEYNOTES

- 02.02 (E) HVAC UNIT AND CURB TO REMAIN. PROTECT IN PLACE, REPLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 1/A10.41 AND 3/A10.41
- 02.04 (E) EXHAUST FAN AND CURB TO REMAIN. PROTECT IN PLACE, REPLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 18/A10.40
- 07.41 ROOF GRAPHIC MEMBRANE.
- 07.42 PVC CLAD EDGE FLASHING / METAL GUTTER. SEE DETAIL 4, 5, AND 13/A10.40.

#### LEGEND - ENLARGED ROOF PLANS

- EXISTING ROOFING MATERIAL TO BE REMOVED, EXISTING SHEATHING TO REMAIN. SHEATHING TO BE INSPECTED FOR DRY ROT, TERMITE, AND MOISTURE DAMAGE. NOTIFY ARCHITECT IF DAMAGE IS FOUND. EXTENTS AND ANY REPAIR OF ROOF SHEATHING SHALL BE PERFORMED BY A CONSTRUCTION CHANGE DOCUMENT (CCD), APPROVED BY DSA. PREP ROOF SHEATHING FOR NEW PVC ROOF MEMBRANE ASSEMBLY.
- EXISTING CANOPY TO BE REMOVED
- NEW SINGLE PLY PVC ROOFING CLASS-A, SEE DETAIL 1, 2 OR 3 ON SHEET A10.40 FOR ROOF ASSEMBLY
- EXISTING BUILT-UP ROOFING TO REMAIN
- ROOF WALKWAY PADS

#### KEY PLAN:



#### FACILITY:

Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

#### PROJECT:

KHSD Arvin High School ESSER III Phase 1 Roofing Project

#### SHEET NAME:

BLDG 13, 14 & 15 - ROOF PLAN - REMODEL

#### DSA SUBMITTAL

FILE NO.: 15-H3	A NO.: 03-123508
DATE: 2023.07.25	CLIENT PROJ NO: 3566002103
SHEET:	

BLDG 13, 14 & 15 - ROOF PLAN - REMODEL

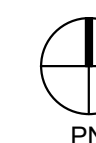
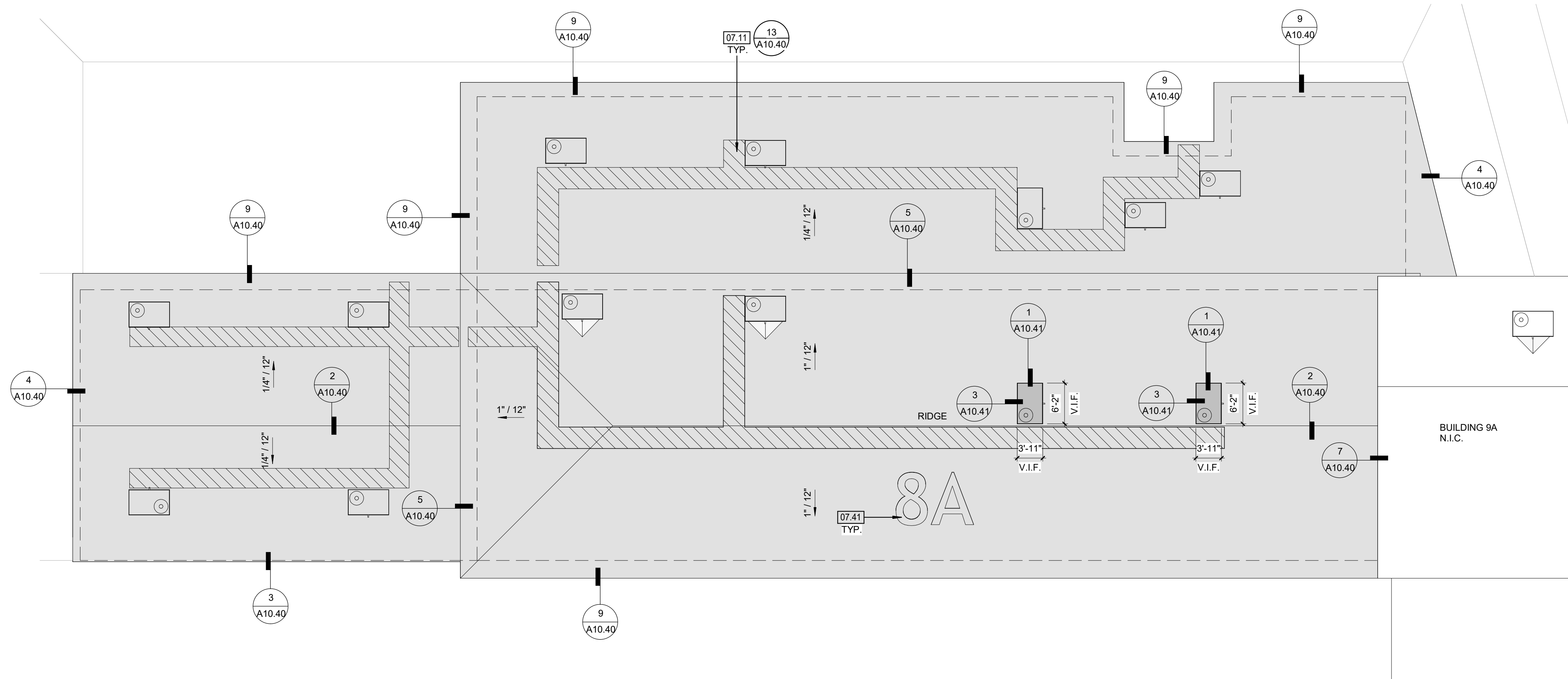
1

3/32" = 1'-0"

PLEASE RECYCLE ♻️

A4.61



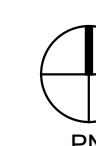
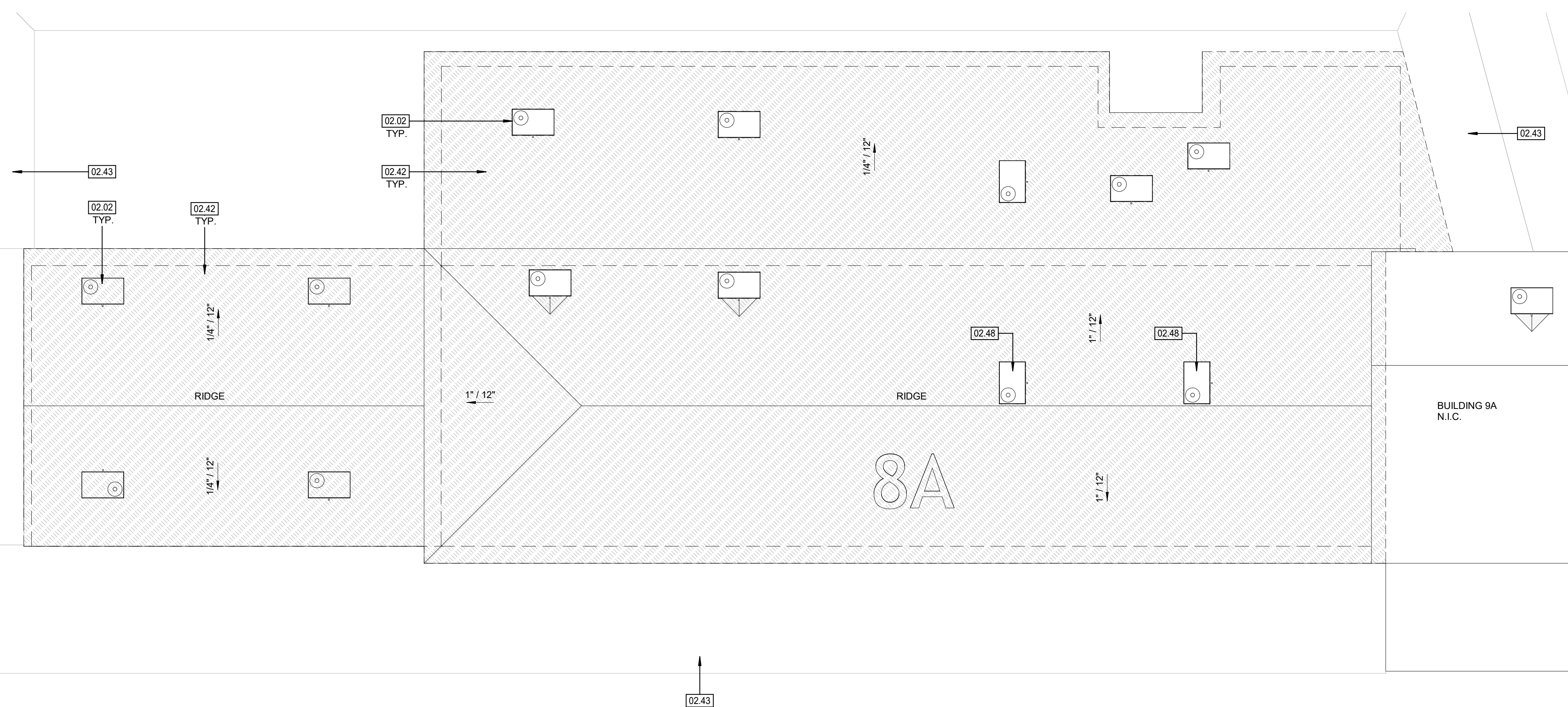


BLDG 8A - ROOF PLAN - REMODEL

2

3/32" = 1'-0"

- NOTE:**
- ALL ROOFING MATERIAL INCLUDING MEMBRANE, FLASHING, EDGES, GUTTERS, MECHANICAL EQUIPMENT CURBS, PLATFORMS FLASHING, EXHAUST FANS, SKYLIGHTS AND PIPE / CONDUIT PENETRATIONS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS. SEE SHEET A10.40 & A10.41 TYPICAL ROOFING DETAILS.
  - REFER TO MECHANICAL, PLUMBING & ELECTRICAL FOR ADDITIONAL SCOPE NOT SHOWN.
  - NO WORK, INCLUDING DEMOLITION, SHALL BEGIN UNTIL PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY DSA.
  - (E) UTILITIES ON THE ROOF TO BE PROTECTED DURING DEMOLITION AND INSTALLATION OF ROOFING MEMBRANE. CONTRACTOR TO WALK THE JOB PRIOR TO BID.
  - THE CONTRACTOR SHALL SITE VERIFY A MINIMUM **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE FOR HVAC UNITS, EXHAUST FANS, VENTS, PIPE PENETRATIONS, SKYLIGHT, ROOF HATCH, ETC., FOLLOWING THE INSTALLATION OF THE NEW RIGID INSULATION.
  - THE CONTRACTOR SHALL ENSURE A MINIMUM **4-INCH** FROM TOP OF ROOFING MEMBRANE FLASHING CONDITION IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S REQUIREMENTS.
  - THE CONTRACTOR SHALL EXTEND ALL VENT PIPES, CONDUITS, ETC. TO COMPLY WITH THE FLASHING REQUIREMENTS.
  - WHERE EXISTING CONDITIONS DO NOT MEET THE **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT, THE CONTRACTOR SHALL FOLLOW THE DETAILS BELOW:  
RAISED PLATFORM: 1/A10.41 & 3/A10.41  
EXHAUST FANS: 10/S1.01 & 14/S1.01 (CCD 001A)  
8/A10.41, EXTEND THE EXISTING CURB  
VENTS & PIPE PENETRATIONS: 11/A10.41 & 12/A10.41, EXTEND EXISTING PIPE & CONDUIT  
SKYLIGHT: 18/A10.41 (PH 1 ROOFING), EXTEND CURB AND SKYLIGHT TUB
  - ADJUST EXISTING ROOF LADDER TO MEET **8-INCH** FROM TOP OF PROTECTION BOARD TO TOP OF PLATFORM/ CURB HEIGHT CLEARANCE REQUIREMENT; CUT AND GRIND THE EDGE TO MAINTAIN A SMOOTH FINISH.
  - WHERE A ROOF HATCH IS LOCATED, THE CONTRACTOR SHALL VERIFY WITH THE DISTRICT WHETHER IT IS STILL OPERABLE OR HAS BEEN ABANDONED. IF ABANDONED, THE CONTRACTOR SHALL DEMO, REFRAME, AND ROOF OVER THE EXISTING OPENING.
  - THE CONTRACTOR SHALL NOTIFY THE DISTRICT/ ARCHITECT OF THEIR FINDINGS PRIOR TO STARTING WORK.



BLDG 8A - ROOF PLAN - DEMO

1

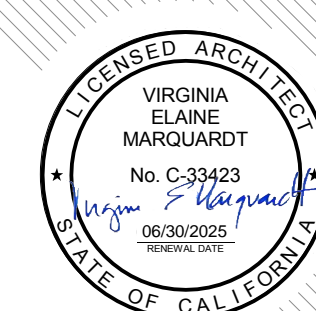
3/32" = 1'-0"



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## ISSUE

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1	Revision 1	12/18/2023
5	Revision 5	06/11/2025

## KEYNOTES

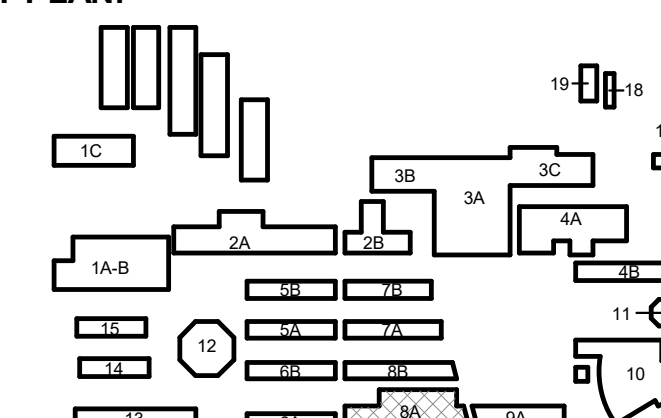
- 02.02 (E) HVAC UNIT AND CURB TO REMAIN. PROTECT IN PLACE. REPLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 1/A10.41 AND 3/A10.41
- 02.42 PROTECT ALL EXISTING UTILITIES DURING ROOF DEMOLITION AND RE-ROOFING. CONTRACTOR TO WALK THE JOB PRIOR TO BID.
- 02.43 (E) COVERED WALKWAY TO REMAIN. PROTECT IN PLACE.
- 02.48 (E) ROOF TOP UNIT (NO DSA RECORD) TO REMAIN. PROTECT IN PLACE DURING CONSTRUCT A NEW MECH PLATFORM & CURB. SEE DETAILS 1/A10.41, 3/A10.41, 1/S1.01 & 2/S1.01
- 07.11 ROOF WALKWAY PADS, REFER TO SPEC. SECTION 07 54 19.30
- 07.41 ROOF GRAPHIC MEMBRANE.

## NOTES

## LEGEND - EXISTING ROOF PLANS

- EXISTING BUILT-UP ROOFING MATERIAL TO BE REMOVED. EXISTING SHEATHING TO REMAIN. SHEATHING TO BE INSPECTED FOR DRY ROT, TERMITE, AND MOISTURE DAMAGE. NOTIFY ARCHITECT IF DAMAGE IS FOUND. EXTENTS AND ANY REPAIR OF ROOF SHEATHING SHALL BE PERFORMED BY A CONSTRUCTION CHANGE DOCUMENT (CCD), APPROVED BY DSA. PREP ROOF SHEATHING FOR NEW PVC ROOF MEMBRANE ASSEMBLY.
- NEW SINGLE PLY PVC ROOFING CLASS-A, SEE DETAIL 1 ON SHEET A10.40 FOR ROOF ASSEMBLY
- EXISTING BUILT-UP ROOFING TO REMAIN

## KEY PLAN:



## FACILITY:

Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

## PROJECT:

KHSD Arvin High School ESSER III Phase 1 Roofing - Building 8A Project

## SHEET NAME:

BLDG 8A - ROOF PLAN - DEMO & REMODEL

## DSA Submittal

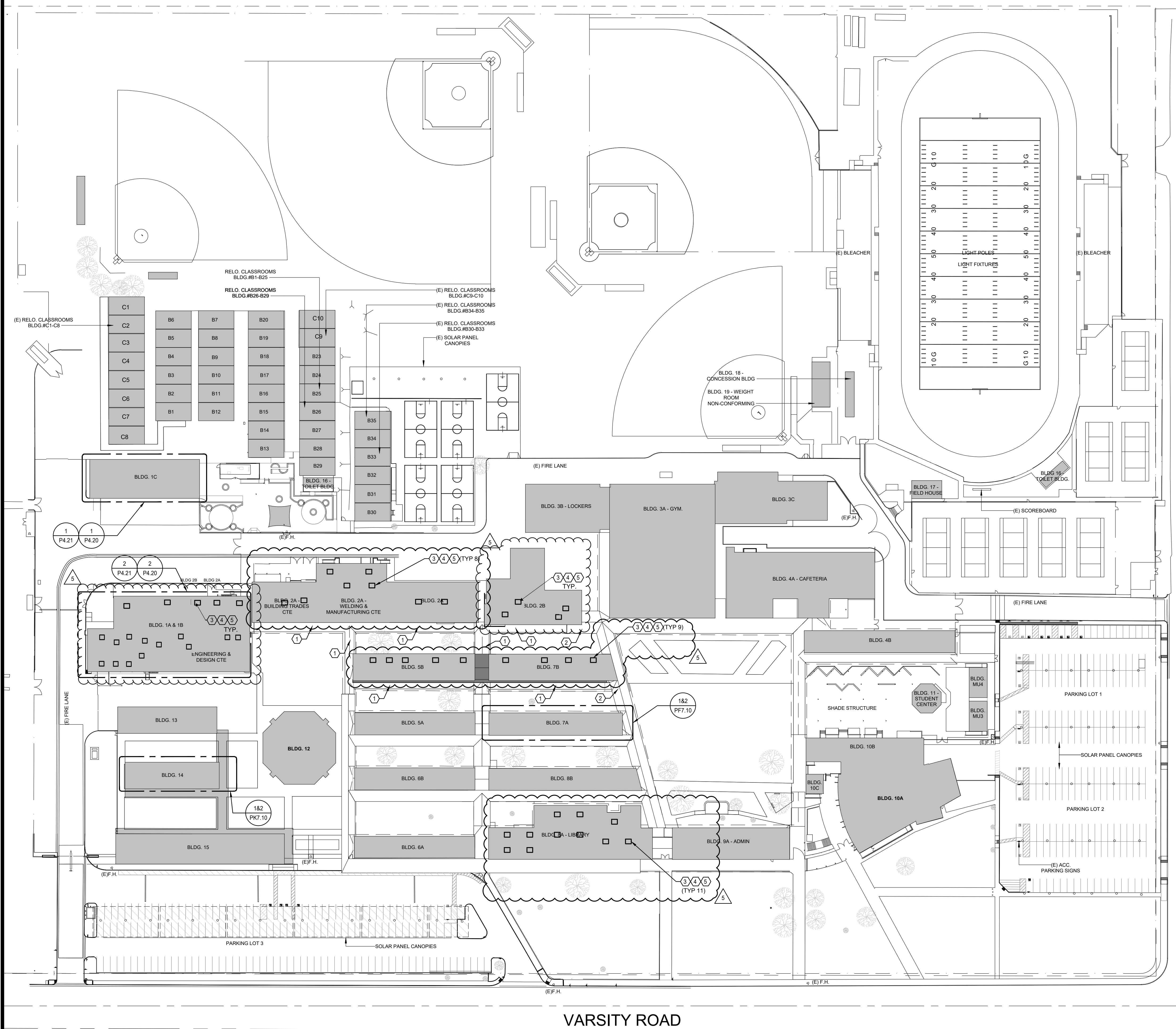
FILE NO.: 15-H3 A NO.: 03-124252

DATE: 2024.04.11 CLIENT PROJ NO: 3566002103

SHEET:

A4.70





## PLAN NOTES

- EXISTING COVERED WALKWAY REMOVED PER DEMO PLAN. SEE ARCHITECTURAL SHEETS FOR MORE INFORMATION.
- EXISTING PARTIAL COVERED WALKWAY TO REMAIN. SEE ARCHITECTURAL SHEET FOR MORE INFORMATION.
- EXISTING MECHANICAL UNIT TO BE REMOVED AND REINSTALL AFTER NEW ROOFING WORK. REMOVE ALL ASSOCIATED GAS AND CONDENSATE PIPING WITH CONNECTIONS.
- RECONNECT CONDENSATE PIPING TO REINSTALL MECHANICAL UNIT. PROVIDE WITH VENTED TRAP. FIELD VERIFY EXACT LOCATION. COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT UNIT COUNT.
- RECONNECT GAS PIPING TO REINSTALL MECHANICAL UNIT. PROVIDE WITH SOC AND SEDIMENT TRAP. FIELD VERIFY EXACT LOCATION. COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT UNIT COUNT.

## GENERAL NOTES

- REMOVE EXISTING PIPE FLASHING AND RE-FLASH PIPING PER ARCHITECTURAL DETAILS.
- REMOVE ALL EXISTING PIPING SUPPORT DURING REMOVAL OF EXISTING ROOFING. INSTALL NEW PIPE SUPPORT DURABLOK DB-10 FOR GAS PIPING AND DBS-10 FOR CONDENSATE PIPING. ROOF SUPPORTS NOT TO EXCEED 10 FEET ON CENTER AND 2 FEET FROM CHANGE OF DIRECTION. SUPPORT SET IN MASTIC TO PREVENT MOVEMENT.
- ALL EXISTING VENT PIPES TO BE RAISED PER ARCHITECTURAL DETAILS.



HMC Architects

3566-002-103

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909 989 9979 / www.hmcarchitects.com

## ISSUE

DESCRIPTION	DATE
ADDENDUM 5	06/13/25

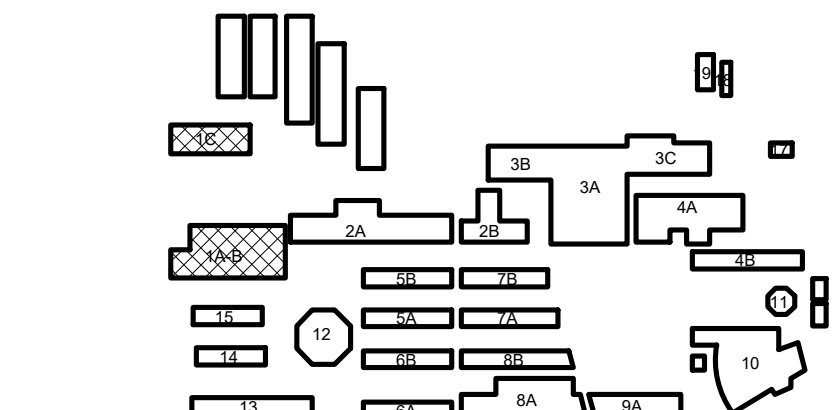
tk1sc  
COLLABORATIVE

11870 Pierce Street, Suite 100  
Riverside, California 92505  
951.299.4160 www.tk1sc.com  
Project Leader - Nikolas Bruno  
Plumbing Lead  
tk1sc Job #: B2203326.000



## KEYNOTES

## KEY PLAN:



## FACILITY:

Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

## PROJECT:

KHSD Arvin High School ESSER III Phase 1 Roofing Project

## SHEET NAME:

PLUMBING SITE PLAN

## DSA SUBMITTAL

FILE NO.: 15-H3 A NO.: 03-123508

DATE: 2023.07.25 CLIENT PROJ NO: 3566002103

SHEET:

PLUMBING SITE PLAN

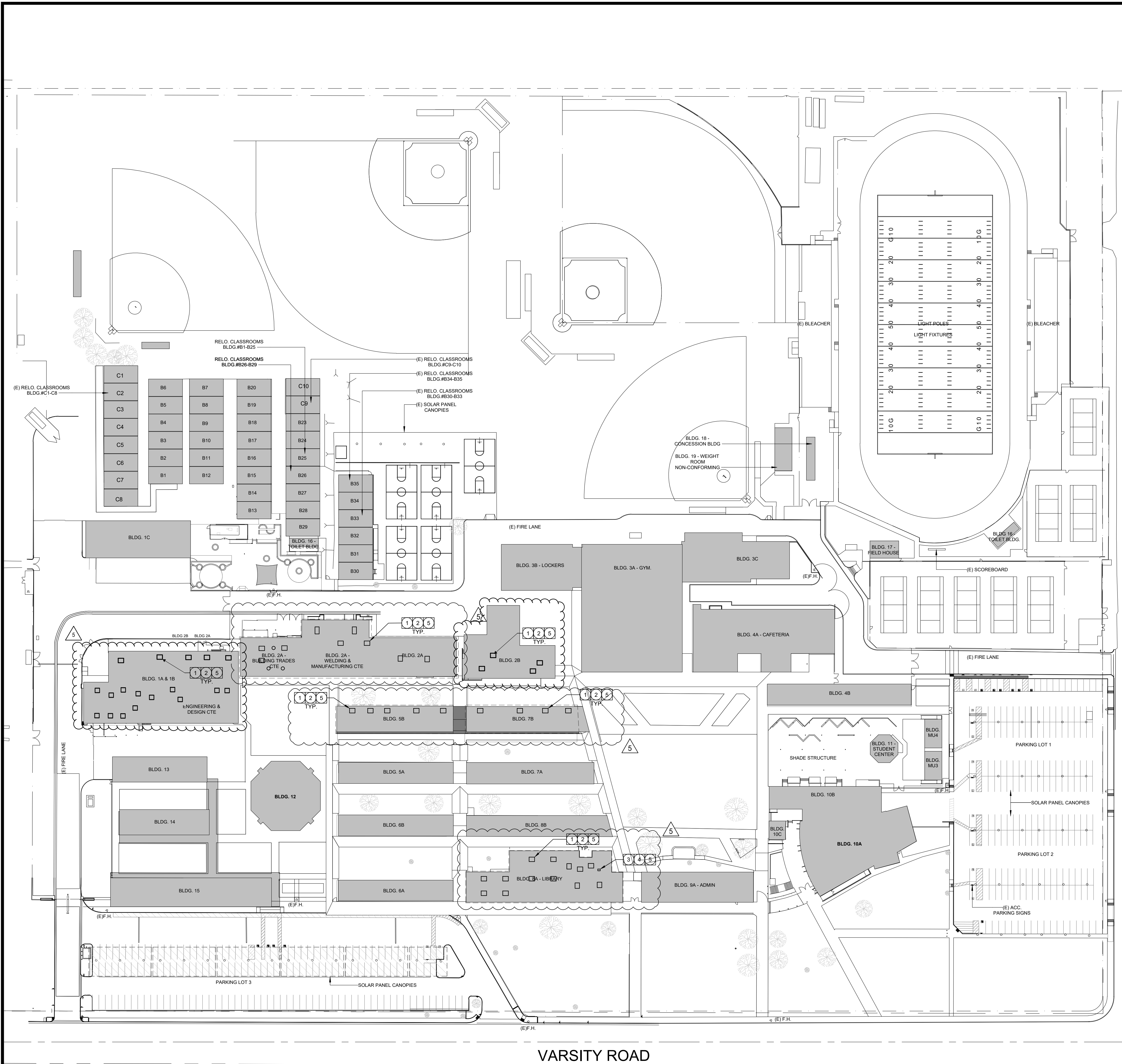
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1" = 60'-0"

PLEASE RECYCLE

P1.11





# PLAN NOTES:

- EXISTING MECHANICAL UNIT TO BE DISCONNECTED, REMOVED, AND REINSTALLED IN PLACE AFTER NEW ROOFING WORK. CONTRACTOR TO DISCONNECT ELECTRICAL CONNECTION, LOW VOLTAGE CONTROLS, FIRE ALARM WIRING AND REMOVE EXISTING LIQUID FLEX CONNECTION. ALL EXISTING ELECTRICAL DISCONNECTS MOUNTED ON UNITS TO REMAIN. CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS FOR EXACT UNIT COUNT.
- EXTEND EXISTING CONDUIT, ALL WIRING, AND REPLACE LIQUID FLEX WITH NEW TO MAKE FINAL CONNECTION TO HVAC EQUIPMENT WHEN REINSTALLED. CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS FOR EXACT UNIT COUNT. ALL EXISTING CONDUITS TO BE RAISED PER ARCHITECTURAL DETAILS.
- EXISTING TRANSFORMER TO BE DISCONNECTED, REMOVED, AND REINSTALLED IN PLACE AFTER NEW ROOFING WORK. CONTRACTOR TO DISCONNECT ELECTRICAL CONNECTION, LOW VOLTAGE CONTROLS, AND FIRE ALARM WIRING. CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS.
- EXTEND EXISTING CONDUIT AND ALL WIRING TO MAKE FINAL CONNECTION TO TRANSFORMER WHEN REINSTALLED. ALL EXISTING CONDUITS TO BE RAISED PER ARCHITECTURAL DETAILS.
- ANY ABANDONED CONDUITS AND WIRING FOUND ON ROOF, CONTRACTOR TO REMOVE AND RETURN BACK TO SOURCE.

## SITE PLAN GENERAL NOTES:

- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING OR CONDUITS, ETC., AND TO PREVENT HAZARDS TO PERSONNEL AND/OR DAMAGE TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN AND INSTALLED BY ANY OTHER CONTRACTS. THE ENGINEER IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY ELEMENTS FOR CONSTRUCTION SAFETY.
- CALL UNDERGROUND SERVICE ALERT (USA) AT 1 (800) 422-4133 OR APPLICABLE STATE AND LOCAL DIG SAFE OR UNDERGROUND ALERT HOTLINES PRIOR TO CONSTRUCTION START.
- MINIMUM CONDUIT SIZE SHALL BE 3/4" - U.O.N.
- MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG - U.O.N.
- ALL SITE BRANCH CIRCUITS SHALL INCLUDE AN EQUIPMENT GROUND CONDUCTOR THAT, AT MINIMUM, MATCHES THE SIZE OF THE ASSOCIATED BRANCH CIRCUIT CONDUCTOR. WHERE MULTIPLE BRANCH CIRCUITS ARE ROUTED/GROUPED TOGETHER, THE EQUIPMENT GROUNDING CONDUCTOR SHALL MATCH THE SIZE OF THE LARGEST BRANCH CIRCUIT CONDUCTOR IN THE GROUP.
- ALL ELECTRICAL EQUIPMENT MOUNTED OUTDOORS SHALL BE WEATHERPROOF (NEMA #3R).
- ALL CONDUIT ONLY SHALL BE PROVIDED WITH A NYLON PULL STRING.
- SEE ARCHITECTURAL/LANDSCAPE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF FIXTURES, PULLBOXES, MANHOLES, OTHER ELECTRICAL DEVICES, ETC. COORDINATE ALL UNDERGROUND STRUCTURES AND CONDUIT ROUTING WITH LANDSCAPE ARCHITECT PRIOR TO ROUGH-IN TO ENSURE THAT SUCH ITEMS ARE NOT PLACED IN CRITICAL LANDSCAPE PLANTING/HARDSCAPE AREAS.
- UNLESS SPECIFICALLY SHOWN AS (E), (R), (ER), (D), EXISTING OR NON-BOLD, ALL ELECTRICAL DEVICES SHOWN ARE NEW.



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3566-002-103

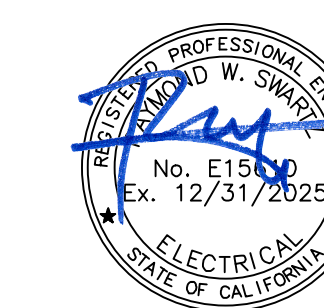
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ISSUE

DESCRIPTION	DATE
ADDENDUM 5	06/13/25

tk1sc  
COLLABORATIVE

11870 Pierce Street, Suite 100  
Riverside, California 92505  
951.299.4160 www.tk1sc.com  
Project Leader - Nikolas Bruno  
Electrical Lead - Nikolas Bruno  
tk1sc Job #: 62203326.000



KEYNOTES

FACILITY:  
Arvin High School  
900 Varsity Rd  
Arvin, CA 93203

PROJECT:  
KHSD Arvin High School ESSER III Phase 1 Roofing Project

SHEET NAME:  
ELECTRICAL SITE PLAN

DSA SUBMITTAL

FILE NO.: 15-H3 A NO.: 03-123508

DATE: 2023.07.25 CLIENT PROJ NO.: 3566002103

SHEET:

ELECTRICAL SITE PLAN

1

1" = 60'-0"

PLEASE RECYCLE

E1.11

KERN HIGH SCHOOL DISTRICT  
**25-BID QUESTION FORM**

**Project: Arvin High School Modernization: Phase 1A Roofing**

**Bid Number: 6301**

**Date:** 06/03/2025

**Contractor:** Black / Hall Construction, Inc.

**Address:** 145 Kern Street

Taft, CA 93268

**Question By:**

**Fax No.:** 661-763-0048

Brenna Mathis

**Phone No.:** 661-763-3818

**QUESTION:** Sheet A4.70 calls our Keynote 02.02 Typ.

I) Keynote 02.02 states "(E) HVAC UNIT AND CURB TO REMAIN, PROTECT IN PLACE CURB ROOF MEMBRANE FLASHING PER DETAILS 1/A10.41 AND 3/A10.41"

1. Details 1,3/A10/41 callout new roof blocking and wood framed platforms.

a. Are all Keynote 02/02 locations requiring new roof blocking and wood framed platforms? Or are only the (2) units with Key note 02.48 on 1/A4.70 requiring new wood framed platforms?

Please advise.

**RESPONSE:**

**Date:** 06/05/25

**Answered By:** M.Lam/J. Chouinard

**Answer:**

Only two HVAC units are called out as Keynote 02.48 for new roof blocking and wood-framed platforms per Details 1 and 3 on Sheet A10.41. All other existing HVAC units follow Keynote 02.02 and Details 6 and 8 on Sheet A10.41. Please also refer to CCD 1-A for additional information.

J. Chouinard/M. Lam

HMC Architects

06.05.25

**Addendum Required:**

YES ☐

NO ☐

**NOTE:** All questions must be received by the Kern High School District, Richard J. Ruiz, in written form [Email [lisa.jacobs@kernhigh.org](mailto:lisa.jacobs@kernhigh.org) ] a minimum of seven (7) days prior to bid opening date. This will allow time to respond to the question and/or issue an addendum to all contractors addressing the question. Questions received less than seven (7) calendar days before bid date will not be acknowledged.



KERN HIGH SCHOOL DISTRICT  
25-BID QUESTION FORM

Project: Arvin High School Modernization: Phase 1A Roofing

Bid Number: 6301

Date: 6/4/2025 Contractor: Graham Prewett  
Address: 2773 N. Business Park Ave.  
Fresno, CA  
Question By: Victor Maravilla Fax No.: 559-291-5082  
Phone No.: 559-291-3741

**QUESTION:** Per drawing A10.40 detail 2 roof assembly. Depicts the use of  
two layers of 3" insulation. Please confirm that is the correct assembly, all MEP below  
the 6" and mechanical curbs without the minimum 8" flashing will need to be raised.

**RESPONSE:**

Date: \_\_\_\_\_ Answered By: \_\_\_\_\_  
Answer: \_\_\_\_\_

Confirmed, two layers of 3" insulation is correct & required per T-24. All MEP units  
curbs less that 6" need to raised per note on Sheet A4.70. Please refer to CCD-1A  
for additional information regarding the platform details.

M.Lam  
HMC Architects  
06/05/2025

Addendum Required: YES ☐ NO ☒

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KERN HIGH SCHOOL DISTRICT  
**25-BID QUESTION FORM**

**Project: Arvin High School Modernization: Phase 1A Roofing**

**Bid Number: 6301**

**Date:** 6/4/2025 **Contractor:** Graham Prewett  
**Address:** 2773 N. Business Park Ave.  
Fresno, CA  
**Question By:** Victor Maravilla **Fax No.:** 559-291-5082  
**Phone No.:** 559-291-3741

**QUESTION:** Please confirm building 8A is part of the scope of work.

**RESPONSE:**

**Date:** \_\_\_\_\_ **Answered By:** \_\_\_\_\_

**Answer:** \_\_\_\_\_

Confirmed. Building 8A is part of the scope of work.

M.Lam

HMC Architects

06/05/2025

**Addendum Required:** YES ☐ NO ☐

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**Address:** 2773 N. Business Park Ave.  
Fresno, CA  
**Question By:** Victor Maravilla **Fax No.:** 559-291-5082  
**Phone No.:** 559-291-3741

**QUESTION:** If MEP contractors need to raise their work to accommodate new  
roof insulation thickness of 6". 140 calendar days will not be sufficient to complete  
the project.

**RESPONSE:**

**Date:** 06/05/2025 **Answered By:** Justin Lochary  
**Answer:** 140 days is the timeline for the project to be completed. Contractor will man the project  
accordingly to accomplish in the allotted timeline for bid documents.

**Addendum Required:** YES ☐ NO ☐

**NOTE:** All questions must be received by the Kern High School District, Richard J. Ruiz, in written form [Email [lisa.jacobs@kernhigh.org](mailto:lisa.jacobs@kernhigh.org) ] a minimum of seven (7) days prior to bid opening date. This will allow time to respond to the question and/or issue an addendum to all contractors addressing the question. Questions received less than seven (7) calendar days before bid date will not be acknowledged.